

Planning Sub-Committee Agenda



To: Councillor Michael Neal (Chair)
Councillor Leila Ben-Hassel (Vice-Chair)
Councillors Ian Parker, Sean Fitzsimons, Joseph Lee and Ellily Ponnuthurai

A meeting of the **Planning Sub-Committee** which you are hereby summoned to attend, will be held on **Thursday, 6 April 2023** at the rise of Planning Committee but not earlier than **6.30 pm** in **Council Chamber, Town Hall, Katharine Street, Croydon CR0 1NX**

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www.croydon.gov.uk/meetings
Wednesday, 29 March 2023

Members of the public are welcome to attend this meeting

If you would like to record the meeting, we ask that you read the guidance on the recording of public meetings [here](#) before attending.

To register a request to speak, please either e-mail Democratic.Services@croydon.gov.uk or phone the number above by 4pm on the Tuesday before the meeting.

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If you require any assistance, please contact Tariq Aniemeka-Bailey 020 8726 6000 x64109 as detailed above

AGENDA – PART A

1. Apologies for absence

To receive any apologies for absence from any members of the Committee

2. Disclosure of Interest

Members are invited to declare any disclosable pecuniary interests (DPIs) and other registrable and non-registrable interests they may have in relation to any item(s) of business on today's agenda.

3. Urgent Business (if any)

To receive notice of any business not on the agenda which in the opinion of the Chair, by reason of special circumstances, be considered as a matter of urgency.

4. Planning applications for decision (Pages 5 - 8)

To consider the accompanying reports by the Director of Planning & Strategic Transport:

5. 22/04682/FUL 145 Purley Oaks Road, South Croydon CR2 0NZ
(Pages 9 - 32)

Ward: Sanderstead

Recommendation: Grant planning permission

5.1 22/04256/FUL 46 The Gallop, South Croydon, CR2 7LP
(Pages 33 - 48)

Ward: Selsdon and Addington Village

Recommendation: Grant permission

5.2 22/04255/FUL 46 The Gallop, South Croydon, CR2 7LP
(Pages 49 - 62)

Ward: Selsdon and Addington Village

Recommendation: Grant permission

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PLANNING SUB-COMMITTEE AGENDA

PART 5: Planning Applications for Decision

1 INTRODUCTION

- 1.1 In this part of the agenda are reports on planning applications for determination by the Planning Committee.
- 1.2 Although the reports are set out in a particular order on the agenda, the Chair may reorder the agenda on the night. Therefore, if you wish to be present for a particular application, you need to be at the meeting from the beginning.
- 1.3 Any item that is on the agenda because it has been referred by a Ward Member, GLA Member, MP or Resident Association and none of the person(s)/organisation(s) or their representative(s) have registered their attendance at the Town Hall in accordance with the Council's Constitution (paragraph 3.8 of Part 4K – Planning and Planning Sub-Committee Procedure Rules) the item will be reverted to the Director of Planning to deal with under delegated powers and not be considered by the committee.
- 1.4 The following information and advice applies to all reports in this part of the agenda.

2 MATERIAL PLANNING CONSIDERATIONS

- 2.1 The Committee is required to consider planning applications against the development plan and other material planning considerations.
- 2.2 The development plan is:
 - the London Plan (2021)
 - the Croydon Local Plan (2018)
 - the South London Waste Plan (2022)
- 2.3 Decisions must be taken in accordance with section 70(2) of the Town and Country Planning Act 1990 and section 38(6) of the Planning and Compulsory Purchase Act 2004. Section 70(2) of the Town and Country Planning Act 1990 requires the Committee to have regard to the provisions of the Development Plan, so far as material to the application; any local finance considerations, so far as material to the application; and any other material considerations. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires the Committee to make its determination in accordance with the Development Plan unless material planning considerations support a different decision being taken. Whilst third party representations are regarded as material planning considerations (assuming that they raise town planning matters) the primary consideration, irrespective of the number of third party representations received, remains the extent to which planning proposals comply with the Development Plan.
- 2.4 Under Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, in considering whether to grant planning permission for development which affects listed buildings or their settings, the local planning authority must have special regard to the desirability of preserving the building or its setting or any features of architectural or historic interest it possesses.

- 2.5 Under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, in considering whether to grant planning permission for development which affects a conservation area, the local planning authority must pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area.
- 2.6 Under Section 197 of the Town and Country Planning Act 1990, in considering whether to grant planning permission for any development, the local planning authority must ensure, whenever it is appropriate, that adequate provision is made, by the imposition of conditions, for the preservation or planting of trees.
- 2.7 In accordance with Article 31 of the Development Management Procedure Order 2010, Members are invited to agree the recommendations set out in the reports, which have been made on the basis of the analysis of the scheme set out in each report. This analysis has been undertaken on the balance of the policies and any other material considerations set out in the individual reports.
- 2.8 Members are reminded that other areas of legislation covers many aspects of the development process and therefore do not need to be considered as part of determining a planning application. The most common examples are:
- **Building Regulations** deal with structural integrity of buildings, the physical performance of buildings in terms of their consumption of energy, means of escape in case of fire, access to buildings by the Fire Brigade to fight fires etc.
 - Works within the highway are controlled by **Highways Legislation**.
 - **Environmental Health** covers a range of issues including public nuisance, food safety, licensing, pollution control etc.
 - Works on or close to the boundary are covered by the **Party Wall Act**.
 - **Covenants and private rights** over land are enforced separately from planning and should not be taken into account.

3 **ROLE OF THE COMMITTEE MEMBERS**

- 3.1 The role of Members of the Planning Committee is to make planning decisions on applications presented to the Committee openly, impartially, with sound judgement and for sound planning reasons. In doing so Members should have familiarised themselves with Part 5D of the Council's Constitution 'The Planning Code of Good Practice'. Members should also seek to attend relevant training and briefing sessions organised from time to time for Members.
- 3.2 Members are to exercise their responsibilities with regard to the interests of the London Borough of Croydon as a whole rather than with regard to their particular Ward's interest and issues.

4. **THE ROLE OF THE CHAIR**

- 4.1 The Chair of the Planning Committee is responsible for the good and orderly running of Planning Committee meetings. The Chair aims to ensure, with the assistance of officers where necessary, that the meeting is run in accordance with the provisions set out in the Council's Constitution and particularly Part 4K of the Constitution 'Planning and Planning Sub-Committee Procedure Rules'. The Chair's most visible responsibility is to ensure that the business of the meeting is conducted effectively and efficiently.
- 4.2 The Chair has discretion in the interests of natural justice to vary the public speaking rules where there is good reason to do so and such reasons will be minuted.

- 4.3 The Chair is also charged with ensuring that the general rules of debate are adhered to (e.g. Members should not speak over each other) and that the debate remains centred on relevant planning considerations.
- 4.4 Notwithstanding the fact that the Chair of the Committee has the above responsibilities, it should be noted that the Chair is a full member of the Committee who is able to take part in debates and vote on items in the same way as any other Member of the Committee. This includes the ability to propose or second motions. It also means that the Chair is entitled to express their views in relation to the applications before the Committee in the same way that other Members of the Committee are so entitled and subject to the same rules set out in the Council's constitution and particularly Planning Code of Good Practice.

5. PROVISION OF INFRASTRUCTURE

- 5.1 In accordance with Policy 8.3 of the London Plan (2011) the Mayor of London has introduced a London wide Community Infrastructure Levy (CIL) to fund Crossrail. Similarly, Croydon CIL is now payable. These would be paid on the commencement of the development. Croydon CIL provides an income stream to the Council to fund the provision of the following types of infrastructure:
- i. Education facilities
 - ii. Health care facilities
 - iii. Projects listed in the Connected Croydon Delivery Programme
 - iv. Public open space
 - v. Public sports and leisure
 - vi. Community facilities
- 5.2 Other forms of necessary infrastructure (as defined in the CIL Regulations) and any mitigation of the development that is necessary will be secured through A S106 agreement. Where these are necessary, it will be explained and specified in the agenda reports.

6. FURTHER INFORMATION

- 6.1 Members are informed that any relevant material received since the publication of this part of the agenda, concerning items on it, will be reported to the Committee in an Addendum Update Report.

7. PUBLIC SPEAKING

- 7.1 The Council's constitution allows for public speaking on these items in accordance with the rules set out in the constitution and the Chair's discretion.

8. BACKGROUND DOCUMENTS

- 8.1 The background papers used in the drafting of the reports in part 6 are generally the planning application file containing the application documents and correspondence associated with the application. Contact Mr P Mills (020 8760 5419) for further information. The submitted planning application documents (but not representations and consultation responses) can be viewed online from the Public Access Planning Register on the Council website at <http://publicaccess.croydon.gov.uk/online-applications>. Click on the link or copy it into an internet browser and go to the page, then enter the planning application number in the search box to access the application.

9. RECOMMENDATION

- 9.1 The Committee to take any decisions recommended in the attached reports.

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1 APPLICATION DETAILS

Ref: 22/04682/FUL
 Location: 145 Purley Oaks Road, South Croydon CR2 0NZ
 Ward: Sanderstead
 Description: Erection of 2 x 3-storey dwellings accessed from Sanderstead Road with associated landscaping and bin and bike stores.
 Drawing Nos: 145.POK LP-01; GA-01; GA-02; GA-03; GA-10; GA11; GA-20; GA-30; EX-01; EX-02.
 Applicant: Mr Ronald Davies, Red Banksia
 Agent: N/A
 Case Officer: Yvette Ralston

	Housing Mix				
	1 bed	2 bed	3 bed	4 bed	TOTAL
Existing					0
Proposed (Market housing)				2	2

Vehicle and Cycle Parking (London Plan Standards)	
PTAL: 2	
Car Parking maximum standard	Proposed
2	0
Long Stay Cycle Storage minimum	Proposed
2	2
Short Stay Cycle Storage minimum	Proposed
0	0

1.1 This application is being reported to committee because:

- Objections above the threshold in the Committee Consideration Criteria have been received.

2 RECOMMENDATION

2.1 That the Committee resolve to GRANT planning permission

2.2 That the Director of Planning and Sustainable Regeneration is delegated authority to issue the planning permission subject to the prior completion of a legal agreement to secure the following planning obligations:

- a) Sustainable Transport contributions of £3000
- b) Any other planning obligation(s) considered necessary by the Director of Planning and Sustainable Regeneration

- 2.3 That the Director of Planning and Sustainable Regeneration is delegated authority to negotiate the legal agreement indicated above.
- 2.4 That the Director of Planning and Sustainable Regeneration is delegated authority to issue the planning permission and impose conditions and informatives to secure the following matters:

Conditions

- 1) Commencement time limit of 3 years
- 2) Carried out in accordance with the approved drawings.

Pre-commencement

- 3) Submission of Construction Logistics Plan

Prior to above ground floor slab level

- 4) Submission of materials/details including the external privacy screens to the first-floor rear facing bedroom windows
- 5) Submission of final SUDS details
- 6) Submission of updated Landscaping Plan showing hard and soft landscaping, details of new trees, biodiversity enhancement measures and boundary treatments
- 7) Details of energy plant

Pre-occupation

- 8) Submission of updated refuse storage details

Compliance

- 9) Provision of cycle parking
- 10) Obscure glazing on side elevations as shown on drawings.
- 11) In accordance with Arboricultural Impact Assessment, Method Statement and Tree Protection Plan
- 12) 110l water usage
- 13) Compliance with requirements of the Fire Statement
- 14) Removal of Permitted Development Rights
- 15) Any other planning condition(s) considered necessary by the Director of Planning and Sustainable Regeneration

Informatives

- 1) Granted subject to a Section 106 Agreement
- 2) Community Infrastructure Levy
- 3) Code of practice for Construction Sites
- 4) Highways informative in relation to s278 and s38 works required.
- 5) Compliance with Building/Fire Regulations
- 6) Construction Logistics Informative
- 7) Implementation of multiple consents
- 8) Any other informative(s) considered necessary by the Director of Planning and Sustainable Regeneration

- 2.5 That the Committee confirms that adequate provision has been made, by the imposition of conditions, for the preservation or planting of trees as required by Section 197 of the Town and Country Planning Act 1990.

2.6 That if within 3 months of the committee meeting date, the legal agreement has not been completed, the Director of Planning and Sustainable Regeneration is delegated authority to refuse planning permission.

3 PROPOSAL AND LOCATION DETAILS

Proposal

3.1 Permission is sought for:

- Erection of 2 x 3-storey dwellings
- New pedestrian access from Sanderstead Road
- Bin and bike storage
- Private amenity space for each house



Proposed new dwellings.

Site and Surroundings

3.2 The application site lies on the north side of Purley Oaks Road. The land slopes steeply upwards from Purley Oaks Road to adjoin Sanderstead Road at the top. There is a public footpath adjoining the site to the west providing pedestrian access between Purley Oaks Road and Sanderstead Road.

3.3 The existing dwelling at the front the site is a 2 storey detached property in white render with a pitched tile roof. This property has planning permission for extensions and conversion into 2 dwellings. The surrounding area comprises generally detached and semi-detached dwellings. The site has a PTAL of 2 and Sanderstead Road is a classified road.

3.4 There are mature trees outside the site to the east and others on the site which have previously been removed. None of the trees on the site are protected by a Tree Preservation Order.



Existing Site Plan



Proposed Site Plan

Planning Designations and Constraints

3.5 The site is subject to the following formal planning constraints and designations:

- PTAL: 2
- Sanderstead Road is a Borough Classified Road
- Flood Risk Zone: 1
- Surface water flood risk: low risk on the application site (top of the slope); high risk at the bottom of the slope on Purley Oaks Road.

Planning History

Host dwelling (145 Purley Oaks Road)

- 3.6 21/04731/FUL: Alterations, erection of roof canopies at front, two storey side extension including roof extension and dormer extensions on the rear roof slope and erection of single storey rear extension in order to create a pair of semi-detached dwellings, formation of vehicular accesses with associated off street parking and bicycle and refuse storage – permission granted 10.03.2022
- 3.7 21/04732/FUL: Alterations, erection of roof canopies at front, two storey side extension including roof extension and dormer extensions on the rear roof slope and erection of single storey rear extension in order to create a pair of semi-detached dwellings, formation of vehicular accesses with associated off street parking and bicycle and refuse storage – permission granted 10.03.2022

Pre-application history (host dwelling)

- 3.8 22/00093/PRE: Demolition of existing house and redevelopment of the site comprising two buildings, to provide a pair of semi-detached family houses fronting Purley Oaks Road and a block of 3 flats over 4 floors of accommodation fronting Sanderstead Road. Associated car parking, bins and bike stores and ramped access from Purley Oaks Road to the building fronting Sanderstead Road.

Pre-application history (application site)

- 3.9 22/03235/PRE: Erection of 2 x 2-3 storey semi-detached dwellings accessed via Sanderstead Road (Published Online).

4 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The principle of 2 new homes in this residential area is acceptable.
- The proposed footprint and siting would continue the established row of houses on Sanderstead Road and would comply with policy regarding development in the grounds of an existing dwelling. The proposed scale and design are appropriate.
- Impacts on neighbouring amenity have been minimised.
- The proposed quality of accommodation is acceptable.
- A car free development is acceptable given the site constraints and the low parking stress in the vicinity.
- New tree planting and hard and soft landscaping is proposed.
- The proposal would not have a detrimental impact on flood risk.

- 4.1 The following sections of this report summarise the officer assessment and the reason for the recommendation.

5 CONSULTATION RESPONSE

- 5.1 The views of the Planning Service are expressed in the MATERIAL PLANNING CONSIDERATIONS section below.

5.2 The following internal colleagues were consulted regarding the application:

Trees

5.3 No objection.

Strategic Transport

5.4 Discussed in the ‘Access, parking and highway impacts’ section below

6 LOCAL REPRESENTATION

6.1 A total of 6 neighbouring properties were originally notified about the application and invited to comment. A site notice was also displayed within the vicinity of the site.

6.2 The total number of representations received from neighbours, local groups etc. in response to notification and publicity of the application were as follows:

No of individual responses: 15 Objecting: 14 Supporting: 0 Neutral: 1

6.3 The following issues were raised in representations that are material to the determination of the application, and they are addressed in substance in the next section of this report:

Objection	Officer comment
Access, highways and parking	
<ul style="list-style-type: none"> • Sanderstead road narrows and bends at this point so is an accident black spot and not appropriate/safe for new houses • Sanderstead Road is also a bus route. • Pedestrian access to the site is difficult/unsafe as there is only pavement on one side of Sanderstead Road, a narrow pavement, and an unlit path with steps from Purley Oaks Road. • Ambulances and fire tenders would have to block the road • Where will delivery drivers stop? There is no waiting on Sanderstead Road • The alleyway is opposite the entrance to the allotments on Purley Oaks Road and Purley Beeches so it is busy during the 	<ul style="list-style-type: none"> • No new vehicle crossover is proposed for this reason • The public footpath path is existing and 2 additional dwellings would not warrant new lighting on the path. • Yes, they would have to stop on the road in the case of an emergency. • Delivery drivers would have to stop temporarily on the road as they currently do. There are no waiting restrictions. • Addressed in the report.

<p>day whereas the parking survey was carried out during the night.</p> <ul style="list-style-type: none"> • Even though the development is car free, the residents would be likely to drive. • How would families with children live here without a car? • Will cause parking hazard/congestion. • No more vehicle driveways are permitted onto Sanderstead Road • Drivers disregard the speed limit and development will lead to further dangerous traffic. • The bottleneck outside number 238 is only a few metres downhill 	<ul style="list-style-type: none"> • Addressed in the report. • Addressed in the report. • Addressed in the report. • No new vehicle driveway is proposed. • Highway safety matters relevant to planning are addressed in the report. • No vehicles would be driving in or out of the site so the proposal would not impact the existing bottleneck.
<p>Impacts on trees/habitats</p>	
<ul style="list-style-type: none"> • Impacts on trees / proximity to trees • Mature trees have been removed. • No mention of the Copper Beech in the rear garden, close to the boundary with 240 Sanderstead road, which could be damaged. • Concerns over impact on Lime Tree at the rear of 147. • Discrepancies in tree report and the plans and a recent independent survey, particularly re the Lime Tree. • Believe there is a TPO on a tree next to the development 	<ul style="list-style-type: none"> • Addressed in the report. • Addressed in the report. • The Copper Beech is located in the garden of number 240. The tree is shown on the Tree Constraints Plan and Protection Plan. Discussion has taken place with Tree Officer. The RPA of this tree is not shown however root growth would have been restricted by the presence of the public footpath. If the roots have extended towards the application site (which is unlikely as they would rather have grown west into the garden) than any root incursion would be minimal and would not harm the long term health of the tree. • Addressed in the report. • Addressed in the report. • There is no TPO.

<ul style="list-style-type: none"> No mention of impacts on habitats or bats 	<ul style="list-style-type: none"> A condition would be attached requiring inclusion of biodiversity enhancement measures.
Impacts on neighbouring amenity	
<ul style="list-style-type: none"> Overlooking of neighbouring gardens and properties from rear dormer windows, particularly 143, 145, 147 and 149 resulting in privacy issues. Number 240 has 5 windows overlooking the site and would claim compensation for Rights of Light 	<ul style="list-style-type: none"> Addressed in the report. Rights of Light compensation is a civil matter that would need to be addressed outside of the planning system
Character	
<ul style="list-style-type: none"> Out of keeping with the area Other houses are 100 years old so the modern design would be an eyesore in comparison The site already has permission for conversion to 2 semis at the front so an additional 2 houses is overdevelopment 	<ul style="list-style-type: none"> Addressed in the report. Addressed in the report. Addressed in the report.
Other	
<ul style="list-style-type: none"> Losing too many family homes for small developments May create a precedent How will the site be accessed for construction? Road restrictions would be required. There are telecoms cabinets outside. 	<ul style="list-style-type: none"> No homes would be lost. 2 new family homes would be provided. Each scheme is assessed on its own merits. A Construction Logistics Plan condition is recommended. No telecoms cabinets are present currently.

6.4 Councillor Yvette Hopley has commented on the application as follows:

- Supporting residents' concerns regarding the lack of parking for the property

RELEVANT PLANNING POLICIES AND GUIDANCE

Development Plan

6.5 The Council's adopted Development Plan consists of the London Plan (2021), the Croydon Local Plan (2018) and the South London Waste Plan (2022). Although not an exhaustive list, the policies which are most relevant to the application are:

London Plan (2021)

- D1 London's form, character and capacity growth
- D3 Optimising site capacity through the design led approach.
- D4 Delivering Good Design
- D5 Inclusive Design
- D6 Housing quality and standards
- D7 Accessible housing
- D12 Fire Safety
- H1 Increasing housing supply.
- H2 Small sites
- G5 Urban Greening
- G6 Biodiversity and access to nature
- G7 Trees and Woodlands
- SI2 Minimising Greenhouse Gas Emissions
- SI12 Flood Risk Management
- SI13 Sustainable Drainage
- T4 Assessing and mitigating transport impacts.
- T5 cycling.
- T6 car parking
- T6.1 Residential parking

Croydon Local Plan (2018)

- SP2 Homes
- SP4 Urban Design and Local Character
- SP6 Environment and Climate Change
- SP8 Transport and communications
- DM1 Housing Choice for Sustainable Communities
- DM10 Design and Character
- DM13 Refuse and Recycling
- DM16 Promoting Healthy Communities
- DM18 Heritage assets and conservation
- DM23 Development and Construction
- DM25 Sustainable Drainage Systems and Reducing Flood Risk
- DM27 Biodiversity
- DM28 Trees
- DM29 Promoting Sustainable Travel and Reducing Congestion
- DM30 Car and cycle parking in new development
- DM40 Kenley and Old Coulsdon

6.6 The Development Plan should be read as a whole, and where policies conflict with each other, the conflict must be resolved in favour of the policy contained in the last document to be adopted, approved or published as part of the development plan, (in accordance with s38(5) of the Planning and Compulsory Purchase Act 2004).

Planning Guidance

National Planning Policy Framework (NPPF)

6.7 Government Guidance is contained in the NPPF, updated on 20 July 2021, and accompanied by the online Planning Practice Guidance (PPG). The NPPF sets out a presumption in favour of sustainable development, requiring that development which accords with an up-to-date local plan should be approved without delay. The NPPF identifies a number of key issues for the delivery of sustainable development, those most relevant to this case are:

- Delivering a Sufficient Supply of Homes
- Promoting Sustainable Transport
- Achieving Well Designed Places

SPDs and SPGs

6.8 There are also several Supplementary Planning Documents (SPD) and Supplementary Planning Guidance (SPG) documents which are material considerations. Although not an exhaustive list, the most relevant to the application are:

- London Housing SPG (March 2016)
- Technical Housing Standards: Nationally Described Space Standard (2015)
- National Design Guide (2021)

7 MATERIAL PLANNING CONSIDERATIONS

7.1 The main planning issues raised by the application that the committee must consider are:

1. Principle of development
2. Design and impact on character of the area
3. Quality of residential accommodation
4. Impact on neighbouring residential amenity
5. Trees, landscaping and biodiversity
6. Parking and highway impacts
7. Flood risk and energy efficiency
8. Fire safety
9. Conclusions

Principle of development

7.2 The Croydon Local Plan sets out a housing target of 32,890 homes over a 20-year period from 2016-2036. The London Plan sets out a housing target for the borough of 2,079 homes per year. The Croydon Local Plan also sets out a target for development on Windfall sites of 10,060 homes (approximately 503 per year). The London Plan requires 6,410 net completions on small sites (below 0.25 hectares in size) over 10 years, with a small-sites housing target of 641 per year.

7.3 Croydon Local Plan Policy SP2 explains that developments should ensure land is used efficiently. London Plan Policy H1 states that boroughs should optimise housing delivery on sites of PTAL 3-6 or within 800m of a train station or town centre boundary. The access to the application site is in a PTAL 2 location and is approximately 800m

walking distance to Sanderstead train station. Therefore, whilst the site does not fall within a location where significant amounts of intensification would be strongly encouraged, it is in a location where the London Plan Policy H1 requires the optimisation of the potential for housing delivery on suitable sites. Given the pattern of development in the area, with the site's location at the end of a row of houses, some built form at the rear of the site would be appropriate. As discussed in the Character section below it would represent an efficient use of land, in accordance with Local Plan policy SP2.

Unit size mix

- 7.4 Local Plan policy SP2.7 sets a strategic target for 30% of all new homes over the plan period to have 3 or more bedrooms to ensure that the borough's need for family sized units is met. The proposal is for 2 x 4-bedroom, 5-person units (1 double bedroom and 3 single bedrooms in each unit) which would contribute towards the Council's need for family sized homes.

Design and impact on the character of the area

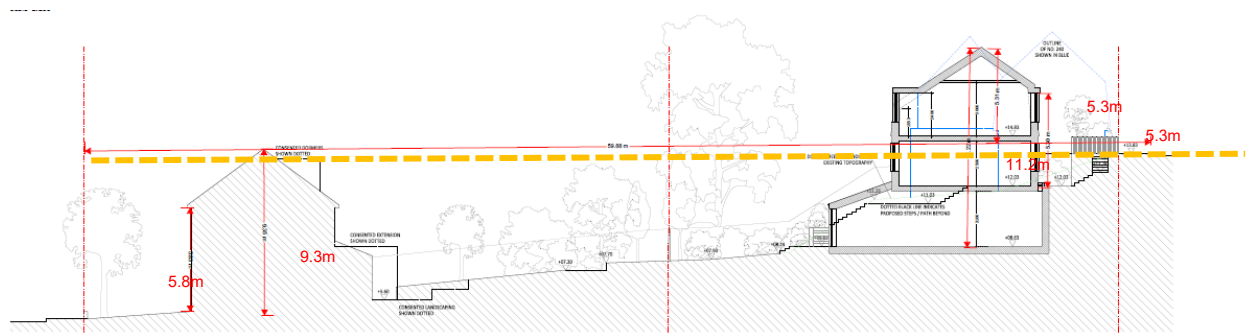
- 7.5 Policies SP4.1 and DM10.1 of the Local Plan state that the Council will require development of a high quality, which respects and enhances Croydon's varied local character and contributes positively to public realm, landscape and townscape. Proposals should respect the development pattern, layout and siting; the scale, height, massing, and density; and the appearance, existing materials and built and natural features of the surrounding area. London Plan policy D3 states that a design-led approach should be pursued and that proposals should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness.

Development in the grounds of an existing dwelling

- 7.6 The application site is located at the rear of 145 Purley Downs Road on an area of land of around 800sqm. The area which would form the new planning unit will be c. 370sqm. The land slopes steeply upwards from Purley Oaks Road to Sanderstead Road, with the application site sitting at the top of the slope. The land currently forms unused garden land to the house at 145 Purley Oaks road.
- 7.7 The application site would have a frontage facing Sanderstead Road so would not be described as traditional 'backland' development (such as within a rear garden with a new access created), but Local Plan Policy DM10.4e regarding development in the grounds of an existing building which is retained is relevant. The policy states that a minimum length of 10m and no less than half or 200sqm (whichever is the smaller) of the existing garden must be retained for the host property after the subdivision of the garden. The existing garden to 145 Purley Oaks Road would retain an area of approximately 290sqm and a length of 18m. The property at 145 Purley Oaks Road has permission for extensions and sub-division into a pair of semi-detached dwellings. Following the extensions (which have not yet commenced), the host dwelling would retain a garden area of over 245sqm and a length of 15m. The proposal for development within the rear garden of number 145 Purley Oaks Road would therefore comply with the backland policy.
- 7.8 The proposed new dwellings would continue the established row of existing dwellings fronting Sanderstead Road and would therefore respect the development pattern of the area and would not be out of character in the streetscene. They would have a street

facing frontage and would be accessed directly from Sanderstead Road. The proposed sub-division would also leave sufficient space for the new dwellings to have reasonable sized gardens (c.50sqm for dwelling A and c.100sqm for dwelling B).

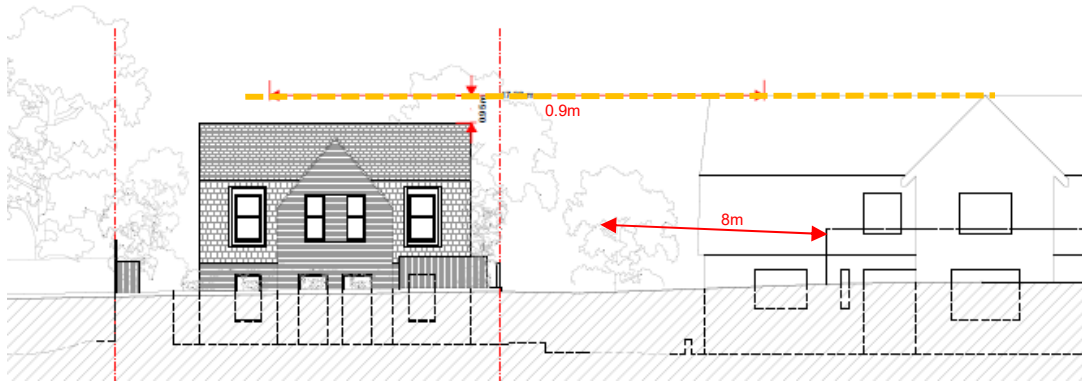
7.9 Policy DM10 requires that dwellings constructed within rear gardens of existing properties are subservient in scale to the main house. However, following the development, the land would be separated into two parcels, one with the existing house facing Purley Oaks Road, and the other with the new houses facing Sanderstead Road, with no access via the garden of 145 Purley Oaks Road. The natural sloping topography of the land means that this would not be feasible for the proposed homes to be lower than the existing house, as the land fronting Sanderstead Road where the application site is located is around 8m higher than the land and house at the bottom fronting Purley Oaks Road. The dwellings along Sanderstead Road to the west are all at a higher land level than those fronting Purley Oaks Road and all are visible from Purley Oaks Road. The same would apply to the houses proposed on the application site, in accordance with the layout and development pattern of the immediate area (to the west).



Proposed Site section.

7.10 In terms of dimensions, the property at 145 Purley Oaks Road is a 2 storey dwelling 9.3m in height measured to the roof ridge. Some excavation is proposed on the application site to utilise the slope of the land and provide a lower ground floor level. The resulting 3 storey dwelling would have a total height of 11.2m measured from the lower ground floor level to the roof ridge. Figure 3 above demonstrates that the ridge height would be 5.3m higher than the ridge height of 145 Purley Oaks Road. The host dwelling fronting Purley Oaks Road has a frontage height (measured from ground floor to eaves) of 5.8m and the proposed new dwellings would have a frontage height of 5.3m. It is clear, however, that the host dwelling and the new dwellings would not have a close relationship to the existing house as they would face opposite roads, in the same arrangement as the dwellings to the west, so the proposed new building would not appear as a backland development and therefore does not need to be subservient to the host dwelling.

7.11 The proposed dwellings would have a closer relationship with the neighbouring property at number 240 Sanderstead Road, continuing the row of houses fronting Sanderstead Road. The proposed dwellings would have a ridge height 0.9m lower than the neighbouring dwelling, as shown in Figure 4. They would be separated by an 8m gap across the pedestrian pathway that leads between Purley Oaks Road and Sanderstead Road. The separation distance respects the spacious character of the area.



Proposed streetscene elevation.

Access arrangements and siting

- 7.12 Various options for access to the proposed dwellings have been considered within the Design and Access Statement, taking into account the steeply sloping topography and the bend of the road, and were discussed during the pre-app meeting. The proposed option is that steps would lead from the pavement to the front door of each dwelling, so access would be via foot only and would not be step-free. The dwellings would be positioned so that the front building line roughly continues the predominant building line along Sanderstead Road, which results in a small and steeply sloping front forecourt. There would be insufficient space for car parking on the forecourt.
- 7.13 If step free access were to be sought, land levels would have to be raised where the application site meets the pavement, and the building would have to be pushed further back into the site. This would result in an awkward relationship with the neighbouring dwelling at number 240, a reduced separation distance to the host dwelling, and significant land level alterations at the front and back of the site which would not be sustainable or appropriate from a streetscene perspective. From a character point of view, the proposal to provide stepped access from the pavement to the ground floor of each dwelling is the most appropriate solution. Access arrangements and an assessment against London Plan policy D7 is discussed in greater detail in the Quality of Accommodation Section below.
- 7.14 A small area of raised (flat) land at the front of each dwelling is proposed for bin and bike storage. These would be appropriately screened from the frontage by soft landscaping on each side.

Character, footprint and design

- 7.15 The built form of the area comprises predominantly 2 storey detached and semi-detached houses on plots of varying sizes. There are some examples of flatted schemes. The proposed semi-detached dwellings are 2 storeys in height when viewed from the street, in accordance with the other dwellings fronting Sanderstead Road, and they are 3 storeys from the rear, incorporating a lower-ground floor rear projection and making use of the sloping topography. The siting of the dwellings has been informed not only by building lines and separation distances, as described above, but also by the locations of tree roots of retained trees. There is a gap of 1.3m proposed to the site boundary on the west side where the site adjoins the pedestrian pathway down to Purley Oaks Road, and 3.4m on the east side where tree roots extend into the site. This is discussed in further detail in the Trees section below.

7.16 The architectural style of surrounding buildings comprises pitched roofs, front facing projecting gables, and smaller gable ends, and materials comprise white render, red brick, hung tile and red/brown roof tiles. The proposed building has a traditional form with a pitched roof, gable ends and single projecting front gable. Modern features have been incorporated such as the asymmetrical pitch to the roof, seamless eaves and small dormers; these features reflect the style of the adjacent house on Sanderstead Road. The single front facing gable has a lower ridge height than the main roof and provides interest to the frontage without dominating the front. The proposed fenestration is reflective of neighbouring dwellings and rear roof dormers are modest in scale and are common features of suburban homes in the area. The proposed materials comprise a red brick base with terracotta tile hanging above and terracotta roof bricks. Windows, dormers and patio doors are proposed to have metal frames. The form, appearance and design of the proposed 2-3 storey semi-detached houses would not be out of character with the suburban and residential character of the area.

Summary

7.17 The proposed houses would continue the row of houses along Sanderstead Row, and adequate separation distance to the host dwelling at 145 Purley Oaks Road would be retained, so the proposal accords with policy DM10.4 regarding development in the grounds of an existing building. The traditional form of the proposed semi-detached dwellings with contemporary features is considered to be an appropriate design response that would make a positive contribution to the character of the area. The proposal is considered to comply with Local Plan policies SP4 and DM10 and London Plan policy D3.

Quality of residential accommodation

7.18 The National Design Guide states that well-designed homes should be functional, accessible and sustainable. London Plan policy D6 states that housing developments should be of a high quality and provide adequately sized rooms with comfortable and functional layouts. It sets out minimum Gross Internal Area (GIA) standards for new residential developments and requires that 75% of the GIA of each dwelling has a floor to ceiling height of over 2.5m. Local Plan policy DM10.4 and London Plan policy D6 set out the standards for external private amenity space which is for 5sqm per 1-2 person unit and an extra 1sqm per occupant thereafter.

7.19 The table below summarises the assessment of the internal and external spaces of the proposed new dwellings against London Plan policy D6.

Unit	Size (bedroom/person)	GIA (sqm) proposed	Min. GIA (sqm)	Amenity Space (sqm)	Min. Amenity Space (sqm)	Built in storage space (sqm)	Min. built in storage space (sqm)
A	4b5p	103.3	103	53	8	3	3
B	4b5p	103.3	103	103	8	3	3

Scheme considered against London Plan Policy D6 and Table 3.1

7.20 The proposed houses would be spread across 3 storeys. They would be triple aspect with adequate windows for ventilation and outlook. The front doors would be on the ground floor, with the main living and dining space at lower ground floor level. Full height patio doors with rooflights on the single storey rear projection are proposed at

lower ground floor level with views out across the garden, along with low level side facing windows, so the main living spaces at lower ground level would receive good levels of natural light. 2 single bedrooms and a large bathroom are proposed on the ground floor, with a master bedroom with ensuite, another single bedroom and a study at first floor/roof level.

- 7.21 The houses would comply with the floorspace and ceiling height requirements of the London Plan. The table above shows that dedicated storage space as shown on the plans would be 3sqm (with cupboards at lower ground, and ground floor level), so there would be sufficient storage space. The proposed quality of accommodation would be high.

Accessibility

- 7.22 London Plan policy D7 requires 10% of new-build housing to be M4(3) 'wheelchair user dwellings' and the remainder M4(2) 'accessible and adaptable'. The site is at the top of a steep slope and the proposal does not include step-free access to the front door because the depth of the front forecourts would be too shallow to enable ramped access. As discussed above, it would not be appropriate to push the building footprint back as this would disrupt the predominant front building line along the street and reduce the separation distance to the host dwelling. Access to the front doors of each dwelling would therefore be via steps down from the pavement. Step-free access is not provided so the houses would not achieve M4(2) standards.

- 7.23 London Plan policy D7 does allow some exceptions in the case of small scale infill developments. Small scale infill developments are defined within London Plan policy H2 as sites below 0.25 hectares in size, such as the application site. The different access options that were considered are outlined in the Design and Access Statement and are summarised in the Character section above. Individual occupiers could consider external chair lift arrangements in the future if required, but this is not proposed as part of the current application. On balance, when the site constraints, notably the sloping topography and the shallow front forecourt, are considered alongside the proposed benefits of the scheme, i.e., the provision of 2 x new good quality family sized homes which would also make a positive contribution to the character of the area and comply with other policy requirements, it is accepted that step-free access to the dwellings cannot be achieved on this small scale infill site. The stepped access is therefore deemed acceptable on balance.

- 7.24 Although the proposal would not be accessible to all, some there has been some consideration for accessible design. Short runs of (no more than 7) steps are proposed and there would be WCs on each floor level and step-free access from the living space to the patio, meaning some individuals with limited mobility would still be able to visit the property.

- 7.25 2 small areas of flat land are proposed adjacent to the pavement for the bin and bike storage for each dwelling. The proposed steps down to the front doors would be incorporated into the landscaping scheme for the frontage. External steps are also proposed alongside each dwelling from the front forecourt to the rear garden. At the rear of each dwelling, a flat patio space would be provided, with steps down to the grass which would continue to slope downwards, following the natural topography of the land.

Impact on neighbouring residential amenity

- 7.26 Policy DM10.6 of the Local Plan states that the Council will ensure proposals protect the amenity of occupiers of adjoining buildings and will not result in direct overlooking into their habitable rooms or private outdoor space and not result in significant loss of existing sunlight or daylight levels. Representations have raised concerns about neighbouring amenity impacts notably overlooking towards various neighbouring properties.

240 Sanderstead Road

- 7.27 The house at number 240 Sanderstead Road is located to the west of the site, 7m from the site boundary, across the public walkway that connects Sanderstead Road to Purely Oaks Road. The house has 4 windows facing the application site: 2 at ground floor and 2 at first floor. At ground floor these are a bedroom window/door (sole window/door serving this room) and a living room window (with alternative windows/doors leading to the patio at the rear), and at first floor they are 2 small secondary bedroom windows (with the main window facing the rear garden). Given the separation distance and the fact that the proposed dwellings would be lower in height than the dwelling at number 240 Sanderstead Road, there would be no overbearing impact. The proposal includes an obscure bathroom window at ground floor facing towards number 240, and a high level living room window at lower ground floor level, neither of which raise overlooking concerns.

- 7.28 A daylighting assessment has been undertaken which demonstrates that all of number 240's side facing windows would retain a Vertical Sky Component (VSC) of over 27% so would all continue to receive acceptable daylighting conditions. The ground floor bedroom window would see a 21.8% reduction in VSC (against a guideline target of 20%) however because this window would retain 30.8% VSC overall (above the 27% guideline), it would not fail the test. All rooms would pass the BRE No Skyline (NSL) Test and the Annual and Winter Probable Sunlight Hours standards (APSH) test. No detrimental impacts on daylight or sunlight to 240 Sanderstead Road are identified.

145 Purley Oaks Road (host dwelling)

- 7.29 The host dwelling at the front of the site, at the bottom of the slope, is positioned 27.5m away from the proposed dwelling on the application site (24m following the construction of the consented extensions) measured at ground floor level. The separation distance measured at first floor level would be 31m. The London Housing Design Guide states that 18-21m is a 'useful yardstick' for separation distances between dwellings to ensure visual privacy. In this case, the separation distance is considered to be adequate. Views from rear facing upper floor bedroom dormer windows to the garden of number 145 would be possible, however this relationship would be no different to any others in the street whereby all of the dwellings on this section of Sanderstead Road are set at a higher land level than those on Purley Oaks Road, and all will have views into each other's rear gardens. This is not an unusual relationship within a suburban area such as this and is not considered to represent an unacceptable level of overlooking.
- 7.30 Furthermore, a row of new trees are proposed on the rear boundary of the application site to offer additional screening and privacy between the host dwelling and the proposed. Existing trees on the eastern boundary, in particular T07 and T09, would continue to restrict views towards number 145. Given the overall separation distance

and screening, the proposal is not considered to conflict with Policy DM10.6 which seeks to limit "direct" overlooking of private outdoor space (within 10m, perpendicular to the dwelling).

Other nearby dwellings

- 7.31 Objections have been received in relation to overlooking to numbers 147, 149 and 143 Purley Oaks Road. It is acknowledged that views from rear windows would be possible into these gardens but these views would be at a distance and at an oblique angle, and as described above, this relationship would be no different to others in the street whereby all of the dwellings on this section of Sanderstead Road are set at a higher land level than those on Purley Oaks Road, and all will have views into each other's rear gardens.
- 7.32 The proposed house on the application site would have one obscure bathroom window at ground floor facing towards the land to the east (rear part of the garden of number 147), and a high level living room window at lower ground floor level, neither of which raise overlooking concerns nor prejudice future development.

Trees, landscaping and biodiversity

Trees

- 7.33 Local Plan policy DM28 and London Plan policy T7 seek to retain existing trees and vegetation. An Arboricultural Impact Assessment and Tree Protection Plan has been submitted. A total of 14 trees on the site and outside the boundaries have been surveyed. No trees are proposed for removal as part of the application (although it is noted that trees have historically been removed from the site, prior to the current ownership). As these trees were not located within a Conservation Area or subject to a tree preservation order consent of the Local Planning Authority was not required for the removal of these trees. All trees surveyed are categorised at category B trees, with the exception of the Beech (T5) close to the western boundary which is categorised as a category C tree.
- 7.34 A neighbouring occupier has submitted a separate tree survey which assesses the 2 largest trees in the rear garden of number 147 which are closest to the application site. This includes the Lime Tree near the boundary (T9 in the survey prepared by Arbor Cultural Ltd submitted in support of the application by the applicant) and the Beech Tree near Sanderstead Road (T10 in the survey prepared by Arbor Cultural Ltd in support of the application). The Lime tree is categorised as Category A tree in the alternative report and as Category B tree in the Arbor Cultural Ltd and neighbours have raised concerns over this discrepancy. Tree categorisation is undertaken by qualified arboriculturists and their individual justifications are provided within their respective reports. In any case, the footprint of the proposed dwellings are positioned to avoid the RPAs of both trees (T9 and T10) with a 3.5m gap to the boundary on the east side, a condition recommends tree protection measures, so the tree will be retained and the categorisation of the Lime Tree would not alter the assessment of the scheme that is set out throughout this report.
- 7.35 The path proposed on the eastern side of the dwelling would result in a root incursion of 1-2% into the RPA of T9. The path would be constructed using hand excavation and the steps would be constructed on top of the existing slope (rather than digging into roots). The bin and bike store on the north eastern corner of the site would be

positioned partly within the RPA of T10 but no-dig construction techniques and piles would be used, resulting in minimal impact on the RPA. The submitted Arboricultural Assessment, Tree Protection Plan (TPP) and Methodology Statement have been reviewed by the Council's Tree Officer and no objection has been raised subject to compliance with the TPP which would be required by condition.

Landscaping

- 7.36 Local Plan policy DM10.8 requires incorporation of soft and hard landscaping within development proposals. New trees are proposed on the rear site boundary and along the eastern boundary, with additional new trees on the frontage. The Landscaping Plan shows a total of 34 new trees. The Plan also shows permeable paving on the patio spaces and external steps, areas of shrubs/defensive planting, and green roofs on the bin and bike store. Details are acceptable and final details, in accordance with those shown on the Landscaping Plan, would be required by condition.

Biodiversity

- 7.37 Local Plan policy DM27 and London Plan policy G6 seeks to protect and enhance biodiversity in the borough. No ecology survey was carried out as there are no buildings proposed for demolition and the site is largely unused. The aforementioned landscaping condition would also require inclusion of biodiversity enhancement measures.

Parking and highway impacts

- 7.38 The site has a Public Transport Accessibility Level (PTAL) of 2 which indicates poor access to public transport. However, Sanderstead Train station is 800m walking distance (9 minutes) from the site access on Sanderstead Road, and Purley Oaks Train Station is 1.2km walking distance (13 minutes' walk) (or 950m/11 minutes if using the adjacent footpath via Purley Oaks Road). There are also bus stops within 230m (3 minutes' walk) on Sanderstead Road where the 403 bus goes to Sanderstead Station and West Croydon Station.
- 7.39 In a PTAL 2 area in outer London, London Plan policy T6.1 would allow a maximum of 1 car parking space per dwelling. A car-free scheme is proposed and this is predominantly because the sloping topography of the site does not enable car parking provision of the front forecourt. Raising and deepening the proposed frontage on Sanderstead Road is unlikely to be appropriate from a character point of view. Also, Sanderstead Road is a classified Road and is relatively narrow in this location and the Highway Authority is unlikely to permit a new crossover onto Sanderstead Road in this location. Therefore, if the future occupiers own cars, they would need to park on street. Parking could not take place on Sanderstead Road (due to the nature of the road and the white lines) but could take place on Purley Oaks Road, Britton Hill Road or Downs Way. A parking stress survey was undertaken on these 3 roads within 200m of the site. The parking beat surveys were undertaken overnight on 2 week nights (09/12/21 and 10/12/21) and overnight on a weekend night (12/12/21) in accordance with the Lambeth Methodology and as agreed in advance with the Highway Authority. The parking stress was found to be 13.4% on average on week nights and 14% on weekend nights. 185 free spaces were identified. This is low parking stress and indicates sufficient capacity for on-street car parking if required.

- 7.40 Observations have raised concerns about parking stress during the day on Purley Oaks Road as visitors park to visit Purley Beeches and the allotments. This is noted however the likelihood is that if future residents of the proposed 2 houses own cars, they would park in Britton Hill Road which is the closest road to the proposed site and not in proximity to the allotments or Purley Beeches. The parking stress survey identified 76 available parking spaces on Britton Hill Road alone. In addition, a cumulative impact assessment has been undertaken, taking into account permitted developments within 400m of the application site in the last 3 years. 2 x 9 unit schemes have been identified to the west of the application site which provide a total of 15 on site car parking spaces for the 18 units. Cumulative impact on on-street parking from nearby developments is considered to be negligible given the low parking stress.
- 7.41 Therefore, assuming the proposal would result in an additional 2 cars parked on the street in nearby roads, the low parking stress in the vicinity means that the impact on the highway resulting from these additional cars would be negligible. The proposal for a car free scheme for 2 houses cannot be considered to result in detrimental highway impacts in terms of increased road congestion or safety issues so the car-free nature of the scheme is acceptable in policy terms and in terms of highway safety. In addition, a financial contribution of £3,000 would be secured via S106 agreement to contribute towards sustainable transport initiatives in the local area in line with Local Plan policies SP8.12 and SP8.13.

Cycle parking

- 7.42 London Plan policy T5 would require provision of 2 cycle parking spaces per dwelling. A cycle store is proposed at the front of each dwelling, each large enough to accommodate 2 bikes including a larger bike such as a cargo bike or an adapted bike. The cycle stores would both be clad in slatted timber cladding with green roofs and screened from the frontage by hedging. The submitted details are acceptable.

Refuse Storage

- 7.43 Policy DM13 requires the design of refuse and recycling facilities to be treated as an integral element of the overall design. A refuse store is proposed on the forecourt for each dwelling. It would have capacity for 3 x 240 litre bins, against a requirement for 2 x 240 litre bins for recycling, 1 x 180 litre bin for general waste and a food caddy. The food caddy would not fit in the external store proposed so final details would be required by condition. The bin stores would have green roofs and would be screened from the frontage by hedging. Collection would be the same as per the arrangements for the other houses in the street.

Flood risk and energy efficiency

Flood risk

- 7.44 London Plan policy SI13 requires developments to achieve greenfield runoff rates and to manage surface water as close to source as possible by following the drainage hierarchy. Local Plan policies SP6 and DM25 require all developments to incorporate SUDS to reduce surface water runoff and provide water treatment on site. The site is within flood zone 1. The risk of surface water flooding is 'low' at the top of the slope, where the application site is located, but 'high' at the bottom of the slope where the host dwelling is located.

7.45 Infiltration testing has been carried out and it is concluded that infiltration of runoff into the chalk soil would be possible on the site. Rainwater planters would be provided to capture runoff from the roof of each dwelling, with overflows into a separate soakaways in the rear garden of each dwelling, as shown on the drawing provided within the submitted Surface Water Drainage Strategy. The proposed soakaways would be sufficiently deep to make the base infiltration below the finished floor level of the dwellings. Paving would be permeable to allow infiltration. These measures would capture surface water runoff on the site, and not increase flood risk elsewhere, including at the bottom of the slope. Details are acceptable however an updated plan will be required by condition because only a trial pit was dug at application stage and the report recommends deeper testing is carried out prior to the detailed design stage. This would be reviewed at condition stage.

Energy and water efficiency

7.46 The proposed roof plans shows a location of each rear roof slope where PV panels could be installed. This would be supported in principle in accordance with London Plan policy SI2 and Local Plan policy SP6. A condition is recommended to secure details of any external energy equipment to ensure appropriate visual and amenity impacts.

7.47 A condition would also be attached to require a minimum water efficiency standard of 110 litres/person/day as set out in Building Regulations Part G.

Fire safety

7.48 London Plan policy D12 requires all development proposals to achieve the highest standards of fire safety. Details have been provided accordingly. A fire appliance would be able to park directly outside the side on Sanderstead Road. Appropriate fire-resistant wall construction would be used internally and externally and fire detection and alarm systems would be installed internally. As a result (and subject to compliance with the Building Regulations), the application complies with Policy D12.

Conclusions

7.49 The proposed provision of 2 new houses at the rear of 145 Purley Oaks Road, fronting Sanderstead Road, is acceptable in principle in accordance with the Development Plan policies. The siting of the proposed dwellings has been informed by the site constraints including the sloping topography, tree roots, and front building lines; and the scale of the proposed dwellings sits comfortably next to existing dwellings along Sanderstead Road. The car-free nature of the proposal is acceptable given the specific constraints of the site and the low parking stress in the vicinity. The proposed dwellings are traditional in their form but modern features have been incorporated and the proposed design is of a high quality. The homes would provide a good quality of accommodation internally and externally.

7.50 All other relevant policies and considerations, including the statutory duties set out in the Equalities Act 2010, the Human Rights Act, the Planning and Compulsory Purchase Act, and the Town and Country Planning Act, have been taken into account.

7.51 Given the consistency of the scheme with the Development Plan and weighing this against all other material planning considerations, including the benefits and the harm

outlined within this report, the proposal is acceptable in planning terms subject to the detailed recommendation set out in section 2 (RECOMMENDATION).



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1 APPLICATION DETAILS

Ref: 22/04256/FUL
 Location: 46 The Gallop, South Croydon, CR2 7LP
 Ward: Selsdon and Addington Village
 Description: Partial demolition and extension of existing bungalow, upwards and to the side and rear to create one 3 bedroom dwelling and one 5 bedroom dwelling, associated landscaping, car parking and refuse storage
 Drawing Nos: AP-04 Rev D (Proposed Elevations), AP-03 Rev E (Proposed Plans), AP-04 Rev E (Proposed Site Plan), EX-02 Rev C (Existing Site Plan), AP-03 Rev A (Existing and Proposed sections), EX-01
 Applicant: Mr Ronald Davies
 Agent: Mr Ronald Davies
 Case Officer: Victoria Bates

Housing Mix						
	1 bed (2 person)	2 bed (3 person)	2 bed (4 person)	3 bed (6 person)	5 bed (7 person)	TOTAL
Existing			1			1
Proposed (market housing)				1	1	2
TOTAL						2

Vehicle and Cycle Parking (London Plan Standards)	
PTAL: 0	
Car Parking maximum standard	Proposed
3	2
Long Stay Cycle Storage minimum	Proposed
4	4
Short Stay Cycle Storage minimum	Proposed
0	0

1.1 This application is being reported to committee because:

- The ward councillor (Councillor Ward) made representations in accordance with the Committee Consideration Criteria and requested committee consideration
- Objections above the threshold in the Committee Consideration Criteria have been received

2 RECOMMENDATION

2.1 That the Committee resolve to GRANT planning permission

2.2 That the Director of Planning and Sustainable Regeneration is delegated authority to issue the planning permission and impose conditions and informatives to secure the following matters:

Conditions

- 1) Commencement time limit of 3 years
- 2) Carried out in accordance with the approved drawings

Pre-commencement

- 3) Construction Logistics Plan

Prior to above ground floor slab level

- 4) Submission and approval of materials
- 5) Submission and approval of cycle and refuse storage details
- 6) Submission and approval of landscaping (to incorporate replacement trees and biodiversity enhancements)
- 7) Details of SUDS strategy

Compliance

- 8) Obscure glazing to flank window serving bathroom (not to rooflights)
- 9) Visibility splays provided to new space proposed to 3 bedroom unit
- 10) Provision of electric vehicle charging points (EVCP)
- 11) Compliance with fire strategy
- 12) Limit water usage to 110litre per day
- 13) Removal of permitted development rights to extend either house
- 14) Any other planning condition(s) considered necessary by the Director of Planning and Sustainable Regeneration

Informatives

- 1) CIL liable
- 2) Code of practice for Construction Sites
- 3) Compliance with Building/Fire Regulations
- 4) Construction Logistics Informative
- 5) Any other informative(s) considered necessary by the Director of Planning and Sustainable Regeneration

3 PROPOSAL AND LOCATION DETAILS

Proposal

- 3.1 Partial demolition and extension of existing bungalow, upwards and to the side and rear to create one 3 bedroom dwelling and one 5 bedroom dwelling, associated landscaping, car parking and refuse storage. The plans indicate that the retained elements would be the entire of the south-western flank elevation and the front elevation including the bay windows.

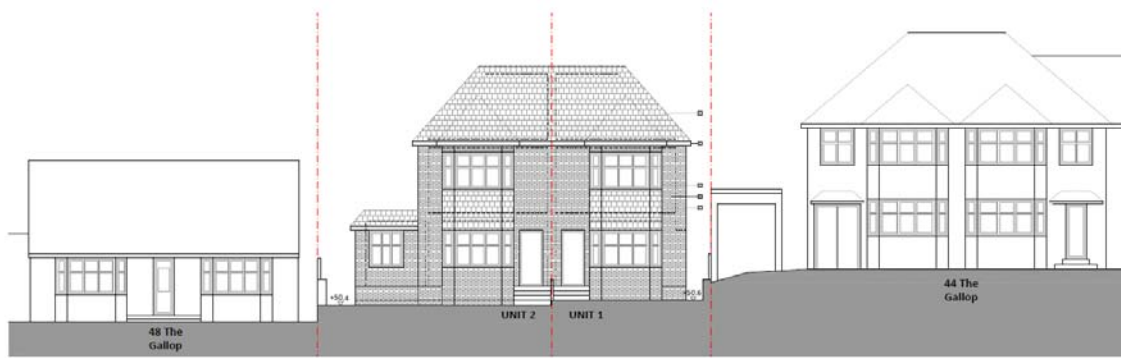


Figure 1: Proposed streetscene elevation

Amendments

- 3.2 The plans have been amended during the course of the application to correct inaccuracies, retain the hedging/landscaping at the rear, provide two replacement trees, amend the 4 bedroom unit to a 3 bedroom unit, move the cycle parking for the 3 bedroom dwelling to the front of the site and move one of the car parking spaces away from the boundary. These amendments are minor in their nature and did not require re-consultation.

Site and Surroundings

- 3.3 The application site consists of a single storey detached bungalow, on the southern side of The Gallop. The surrounding area is residential in character, consisting predominantly of single storey and two-storey, semi-detached and detached dwellings. There are no policy constraints affecting the application site, as identified by the Croydon Local Plan (2018).



Figure 2: Location Plan

Planning Designations and Constraints

- 3.4 The site is subject to the following formal planning constraints and designations:
- PTAL: 0
 - Flood Risk Zone: 1
 - Located 25 metres away from The Ruffet which is a Site of Nature Conservation Importance

Planning History

3.5 The following planning decisions are relevant to the application:

22/04255/FUL	Partial demolition and extension of existing bungalow, upwards and to the side and rear to create 1 x 2 bedroom dwelling and 1 x 3 bedroom dwelling, associated landscaping, car parking and refuse storage Pending consideration
22/04265/GPDO	Notification for prior approval under the GPDO 2015 under Class AA for an upwards extension of one storey to a dwellinghouse Approved (Prior approval)
22/04511/GPDO	Erection of a single storey rear extension projecting out 6 metres from the rear wall of the original house with a height to the eaves of 3 metres and a maximum overall height of 3 metres Approved (Prior approval)

4 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The principle of the residential development is acceptable given the residential character of the surrounding area and the need for housing.
- The proposed development would be acceptable in terms of its design, particularly when giving weight to the fallback position of the 22/04265/GPDO prior approval for an upwards extension and 22/04511/GPDO prior approval for a larger home extension.
- Two family sized units would be created, with good sized gardens and acceptable accommodation for future residents.
- Both properties would have an off street parking space and would not impact upon highway safety and efficiency.
- The proposal would not result in significant harm to neighbouring amenity.
- The proposal's impact on trees and biodiversity is acceptable subject to condition.
- All remaining sustainability aspects can be controlled by conditions.

4.1 The following sections of this report summarise the officer assessment and the reason for the recommendation.

5 CONSULTATION RESPONSE

5.1 The views of the Planning Service are expressed in the MATERIAL PLANNING CONSIDERATIONS section below.

6 LOCAL REPRESENTATION

6.1 A total of 5 neighbouring properties were notified about the application and invited to comment. The number of representations received from neighbours, local groups etc in response to notification and publicity of the application were as follows:

No of individual responses: 31 Objecting: 31 Supporting: 0

6.2 The following groups made representations:

- Croham Valley Residents' Association

6.3 The following Councillor and MP made representations:

- Councillor Ward (Objecting)
- Chris Philp MP (Objecting)

6.4 The following issues were raised in representations that are material to the determination of the application, and they are addressed in substance in the next section of this report:

Objection	Officer comment
Not in keeping with the area	This is addressed in paragraphs 8.7-8.16 of the report
Over development	
Obtrusive by design	
Cramped development	
Too tall next to 48 The Gallop	
Overbearing	This is addressed in paragraphs 8.21-8.28 of the report
Overlooking	
Loss of privacy	
Visual intrusion	
Loss of light	
Noise	There is no requirement in Planning policy for heat pumps or solar panels; they are two energy options. EVCPs have been conditioned.
No heat pumps, solar panels or EVCPs	
Parking	This is addressed in paragraphs 8.32-36
Trees and hedging at rear should be retained	This is addressed in paragraphs 8.29-8.31
Loss of bungalow	This is addressed in 8.2-8.6
Infrastructure	This application is liable for CIL payments (Community Infrastructure Levy)
Harm to wildlife	This is addressed in paragraphs 8.29-31

7 RELEVANT PLANNING POLICIES AND GUIDANCE

Development Plan

7.1 The Council's adopted Development Plan consists of the London Plan (2021), the Croydon Local Plan (2018) and the South London Waste Plan (2022). Although not an exhaustive list, the policies which are most relevant to the application are:

London Plan (2021)

- D1 London's form, character and capacity growth

- D3 Optimising site capacity through the design led approach
- D4 Delivering Good Design
- D5 Inclusive Design
- H1 Increasing housing supply
- H2 Small sites
- G5 Urban Greening
- G6 Biodiversity and access to nature
- G7 Trees and Woodlands
- SI 2 Minimising Greenhouse Gas Emissions
- SI 8 Waste Capacity and Net Waste Self-Sufficiency
- SI 12 Flood Risk Management
- SI 13 Sustainable Drainage

Croydon Local Plan (2018)

- SP2 Homes
- SP4 Urban Design and Local Character
- SP6 Environment and Climate Change
- DM1 Housing Choice for Sustainable Communities
- DM10 Design and Character
- DM13 Refuse and Recycling
- DM16 Promoting Healthy Communities
- DM19 Promoting and Protecting Healthy Communities
- DM23 Development and Construction
- DM25 Sustainable Drainage Systems and Reducing Flood Risk
- DM27 Biodiversity
- DM28 Trees
- DM29 Promoting Sustainable Travel and Reducing Congestion

7.2 The Development Plan should be read as a whole, and where policies conflict with each other, the conflict must be resolved in favour of the policy contained in the last document to be adopted, approved or published as part of the development plan, (in accordance with s38(5) of the Planning and Compulsory Purchase Act 2004).

Planning Guidance

National Planning Policy Framework (NPPF)

7.3 Government Guidance is contained in the NPPF, updated on 20 July 2021, and accompanied by the online Planning Practice Guidance (PPG). The NPPF sets out a presumption in favour of sustainable development, requiring that development which accords with an up-to-date local plan should be approved without delay. The NPPF identifies a number of key issues for the delivery of sustainable development, those most relevant to this case are:

- Delivering a Sufficient Supply of Homes
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- Achieving Well Designed Places

SPDs and SPGs

7.4 There are also several Supplementary Planning Documents (SPD) and Supplementary Planning Guidance (SPG) documents which are material considerations. Although not an exhaustive list, the most relevant to the application are:

- London Housing SPG (March 2016)
- London Mayoral Affordable Housing SPG: Homes for Londoners (August 2017)
- Technical Housing Standards: Nationally Described Space Standard (2015)
- National Design Guide (2021)

8 MATERIAL PLANNING CONSIDERATIONS

8.1 The main planning issues raised by the application that the committee must consider are:

1. Principle of development
2. Design and impact on character of the area
3. Quality of residential accommodation
4. Impact on neighbouring residential amenity
5. Trees, landscaping and biodiversity
6. Access, parking and highway impacts
7. Flood risk
8. Conclusions

Principle of development

8.2 The Croydon Local Plan sets out a housing target of 32,890 homes over a 20-year period from 2016-2036 (1,645 homes per year). The London Plan requires 20,790 of those homes to be delivered within a shorter 10 year period (2019-2029), resulting in a higher target of 2,079 homes per year.

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8.5 Policies SP2.7 and DM1.1 set a strategic target for 30% of all new homes over the plan period to have 3 or more bedrooms and DM1.2 seeks to avoid a net loss of 3-bed family-sized homes in order to ensure that the borough's need for family sized units is met and that a choice of homes is available in the borough. Both units would have at least 3 bedrooms which would comply with the strategic target for 30% of all new homes to have 3 bedrooms or more. This would support the provision of family housing in the borough.

8.6 The existing dwelling is 71sqm, with two double bedrooms, so is less than 130sqm, DM1.2 of the Croydon Local Plan would apply. The proposal is for one 3 bedroom 6 person unit (across 3 storeys) measuring 125sqm and one 5 bedroom 7 person unit (across 3 storeys) measuring 154sqm. Policy DM1.2 states that the Council will permit the redevelopment of residential units where it does not result in the net loss of 3 bedroom homes (as originally built) or the loss of homes smaller than 130sqm. The proposal would re-provide a 3 bedroom unit which is smaller than 130sqm, so would comply with this policy.

Design and impact on character of the area

8.7 Policy D3 of the London Plan states that development should make a positive contribution to the local character, public realm and streetscape. It should incorporate the highest quality materials and design appropriate to its context. Policy DM10 of the Croydon Local Plan requires the siting, layout and form of new development to respect the character and appearance of existing areas, whilst seeking to achieve a minimum height of 3 storeys. Policies SP4.1 and SP4.2 of also require development to be of a high quality which respects and enhances local character.

8.8 Height and Layout: The application site fronts The Gallop which slopes down from west to east. The area is residential in character and is comprised of a mix of bungalows and pairs of two storey semi-detached properties with generous sized gardens.

8.9 To the east, is 48 The Gallop which is a bungalow with rear extensions and set at a lower level than the application site. To the west is 44 The Gallop which is a two storey semi-detached property set at a higher level than the application site.



Figure 3: Street photo with 46 The Gallop located centrally

8.10 Although the height of the dwellings would be taller than the existing bungalow, it would not exceed the height of 44 The Gallop and would not disrupt the pattern of height increasing up the road westwards. In addition, the height to the ridgeline would match 44 The Gallop (but would be set below due to the land level change) and the pair of houses would be 1 metre less in width than 42 and 44 The Gallop. See Figure 1 above. This means that the dwellings would not appear overly dominant in the street scene or out of character with neighbouring properties with regards to height and massing.

8.11 There is also a fallback position in the form of the approved prior approval 22/04265/GPDO. This was for an upward extension to the existing property and the image to the right show what was consented and can be built out. This is a material consideration that further evidences the suitability of the increase in height to the bungalow as proposed in this application.



Figure 4: 22/04265/GPDO approval

8.12 The site layout would also appear similar to neighbouring properties. Both dwellings would have off street parking and soft landscaping to the front which is characteristic of the properties on The Gallop. A single storey side element (appearing as an extension) is proposed to the side of the 5 bedroom property. Almost all of the properties on The Gallop have a single storey garage to the side, so this element would be consistent with the local development pattern. To the rear, a 6 metre single storey rear extension is proposed along the full width of the enlarged rear elevation. The properties to the east of the site have similar extensions with a depth of 3-6 metres. Furthermore, the existing bungalow benefits from a prior approval for a larger home extension, in this case a 6m rear projection (22/04511/GPDO), which provides a fall-back position that is an important material consideration for this scheme. Note that the proposal brings the rear element closer to the shared boundary with 48 The Gallop.



Figure 5 and 6: comparison of 22/04511/GPDO (left) approval and current scheme (right)

8.13 Both properties would have first floor accommodation above the existing bungalow, which would also project 3 metres beyond the existing rear building line (at ground floor given it is a bungalow) with a rear dormer. The massing of the rear extensions would be larger than the surrounding properties but would remain subservient to the main body of the properties.

- 8.14 **Architectural Expression:** The design of the dwellings is based on the semi-detached properties to the west. The front elevations of the dwellings would be very similar in appearance, with differences in the location of the front doors and shape of the roof. The relocation of the front doors to the centre would not appear out of character with the other semi-detached properties and would work well with the design of the dwellings themselves. The proposed roof would have a shallower pitch than the other semi-detached properties, in order to utilise the space in the roof for accommodation. It would still have hipped roof slopes and appear in character with the neighbouring roof forms.
- 8.15 The proposed materials would match the surrounding properties. Full details of the external materials and finishes would be secured via condition to ensure that they are of a suitable quality.
- 8.16 In summary, the design approach is considered to respect the character of The Gallop, in terms of design, height, scale, massing and layout.

Quality of residential accommodation

- 8.17 London Plan Policy D6 states that housing developments should be of a high quality and provide adequately sized rooms with comfortable and functional layouts. It sets out minimum Gross Internal Area (GIA) standards for new residential developments. Both units would exceed the minimum internal space standard, providing generous sized dwellings. Both units would have adequate layouts and dual aspect. The minor transgression below the 2.5sqm storage space for unit 1 is noted, but given the unit is 17sqm over the minimum floorspace requirement, is sufficient.

Unit	Size (bedroom/person)	GIA (sqm) proposed	Min. GIA (sqm)	Amenity Space (sqm)	Min. Amenity Space (sqm)	Built in storage space (sqm)	Min. built in storage space (sqm)
1	3b/6p	125	108	123	9	2.4	2.5
2	5b/7p	154	125	188	8	5.3	2.5

Table 1: scheme considered against London Plan Policy D6 and Table 3.1

- 8.18 DM10.4 of the Croydon Local Plan requires all proposals to provide a minimum amount of private amenity space of 5m² per 1-2 person unit and an extra 1m² per extra occupant thereafter. Both units would have generous sized gardens, significantly exceeding the minimum standard.
- 8.19 London Plan policy D7 states that 10% of new build housing should meet Building Regulation requirement M4(3) 'Wheelchair User Dwellings'; and all other dwellings should meet the Building Regulation requirement M4(2) 'Accessible and Adaptable Dwellings' which requires step free access to all units and the facilities of the site. It is important to note that this application is for extensions and subsequent conversion to two units as opposed to a new build. There are currently steps up to the front door of the bungalow, as is the case for the majority of properties along this section of The Gallop. Given the floor level of the homes has been set by the existing bungalow, this arrangement is, on balance, accepted.
- 8.20 London Plan (2021) policy D12 Fire Safety requires all development proposal to achieve the highest standards of fire safety. Paragraph 3.12.1 states that fire safety of developments should be considered from the outset and D12 sets out six requirements

that should be achieved on all developments. A Fire Statement has been submitted which addresses this policy.

Impact on neighbouring residential amenity

8.21 Policy D3 of the London Plan indicates that in their neighbourhoods, people should have a good quality environment. Policies SP4.1 and SP4.2 seek to respect and enhance character, to create sustainable communities and enhance social cohesion and well-being. Policy DM10.6 of the Local Plan states that the Council will ensure proposals protect the amenity of occupiers of adjoining buildings and will not result in direct overlooking into their habitable rooms or private outdoor space and not result in significant loss of existing sunlight or daylight levels.

48 The Gallop

8.22 48 The Gallop is a bungalow located to the east of the site, set at a lower level which has been extended by 5 metres to the rear (formed of a single storey rear extension with pitched roof and conservatory). The ground floor side extension would be separated by 2 metres from the side elevation of the bungalow. To the front, this would replace the existing garage that sits on the boundary which would be demolished. The massing would be further away from the boundary which would improve this relationship and create a gap between the properties. The single storey side extension would wrap around the footprint of the existing dwelling, and extend by 6 metres to the rear. 48 The Gallop has an existing 5 metre extension, so the proposed 6 metre extension would only project by an additional 1 metre beyond the rear elevation which would not cause significant harm to outlook. Furthermore, weight must be given to the 22/04511/GPDO prior approval (see figures 5 and 6) which is a fall-back position.

8.23 In relation to the upwards extension, the main body of the properties would not be visible from 48 The Gallop as there are no windows on the side elevation apart from the conservatory. To the rear, the first floor projection and roof would extend by 3 metres from the original rear building line. There would be a 5.5 metre separation between the side elevation of the projection and number 48's brick built extension, which it would not extend beyond.

8.24 All proposed windows would face directly onto the garden of the application site and one window would be located at first floor on the side elevation but this would serve a bathroom and would be conditioned as obscurely glazed. This would prevent overlooking or a loss of privacy.

8.25 Although 46 The Gallop is at a higher land level, as the extensions have been set in from the boundary, away from the neighbour and would only project by a maximum of 1 metre beyond the closest rear window of 48 The Gallop there would be no significant harm to the amenities of this neighbour with regards to overlooking, privacy, outlook or light.

44 The Gallop

8.26 To the west is 44 The Gallop which is two storeys in height and set approximately 90cm higher than the application site. On the side elevation, it has one obscurely glazed window serving a hallway at ground floor, one first floor window serving the staircase and one first floor window serving a toilet. As these windows do not serve habitable rooms, less weight is given to outlook or lighting. Nonetheless, the first floor extension would be located 4.7 metres from the side elevation of number 44 and the height to the eaves would be lower. The first floor projection would extend 3 metres beyond the

rear elevation of number 44, however the separation distance is sufficient to prevent a loss of outlook from the rear rooms. The 22/04265/GPDO upward extension prior approval provides a fall-back position. In relation to their ground floor rear windows, serving a kitchen and dining room, the 6 metre single storey rear extension would be at least 4.6 metres away and set at a lower level. Again, the 22/04511/GPDO prior approval is a fall-back position. On this basis, the proposal would not cause significant harm to the amenities of this neighbour with regards to overlooking, privacy, outlook and light.

- 8.27 The properties at the rear on Croham Valley Road are well separated from the new dwellings.
- 8.28 It is acknowledged that with any build, whilst there may be limited disturbances and inconveniences for neighbouring properties, there are no grounds to refuse planning permission based on construction impacts. A Construction Logistics Management Plan can be secured through condition which would seek to protect neighbouring amenities as far as possible during this time.

Trees, landscaping and biodiversity

- 8.29 London Plan Policy G7 and Croydon Local Plan policy DM10.8 and DM28 seek to retain existing trees and vegetation and seek biodiversity net gain. The site is in relatively close proximity of The Ruffets which is a Site of Nature Conservation Importance.
- 8.30 The existing hedging and the mature tree at the rear of the garden are to be retained. Two small trees would be removed, and two semi mature replacements would be planted, with full details conditioned.
- 8.31 The existing property sits within a largely grassed, manicured garden which has limited ecological value. The hedge and mature tree to the rear would be retained. Two new semi-mature tree specimens are proposed with two bird boxes to encourage biodiversity.

Access, parking and highway impacts

- 8.32 The site has a PTAL (Public Transport Accessibility Level) of 0 (the worst) on a scale of 0-6b. The site is not in a Controlled Parking Zone.
- 8.33 As existing there is a crossover serving the property which would be utilised by the 5 bedroom property for 1 car parking space. Sightlines are not within the application site, but as it is an existing arrangement this is considered acceptable and not grounds for refusal. A new crossover is proposed for the 3 bedroom property with sightlines completely within the site. A condition will ensure the sightlines are controlled with no elements above 0.6m to safeguard visibility.
- 8.34 London Plan Policy T6.1 sets the maximum provision of car parking of 3 spaces for this PTAL. The proposed 1:1 car parking complies with this policy. In addition to this, a parking stress survey has also been undertaken which shows low parking stress in the area. On this basis, the parking provision is acceptable.
- 8.35 A cycle store would be provided for each unit showing two spaces. This is in compliance with London Plan policy T5. Details will be conditioned.

8.36 Refuse stores are located in the front garden area of an adequate size. Details would be conditioned.

Flood risk

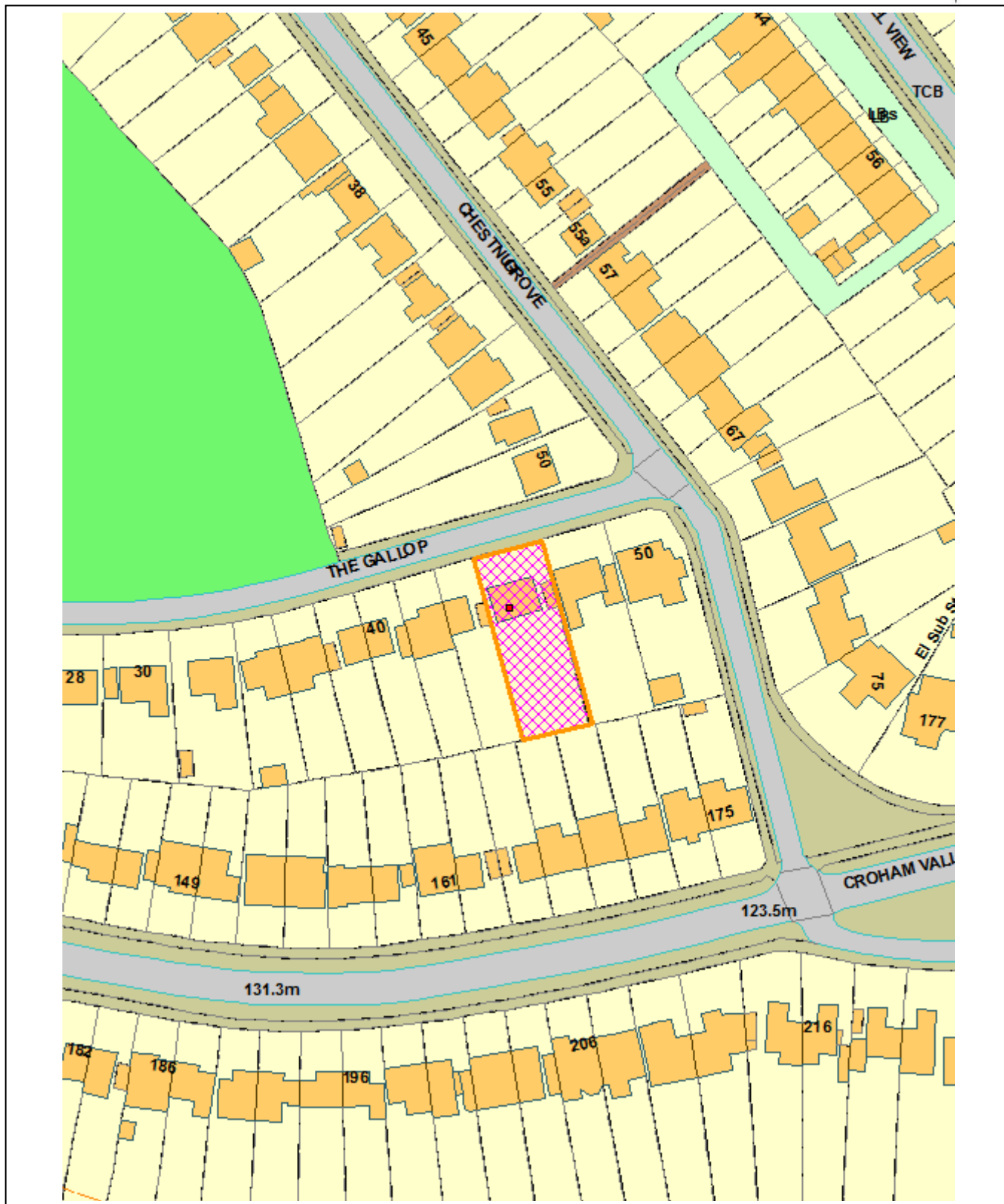
8.37 The site is within flood zone 1 and not at risk of surface water flooding. Local Plan Policy DM25 and SI13 of the London Plan requires all development to incorporate sustainable drainage measures (SuDS). The SuDS strategy will be secured by condition.

Conclusions

8.38 In conclusion, two family sized units are proposed without causing harm to neighbouring amenity or the streetscene. Both units would be generously sized with off street parking and large gardens which is characteristic of the area.

8.39 All other relevant policies and considerations, including the statutory duties set out in the Equalities Act 2010, the Human Rights Act, the Planning and Compulsory Purchase Act, and the Town and Country Planning Act, have been taken into account. Given the consistency of the scheme with the Development Plan and weighing this against all other material planning considerations, the proposal is considered to be acceptable in planning terms subject to the detailed recommendation set out in section 2 (Approval).

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1 APPLICATION DETAILS

Ref: 22/04255/FUL
 Location: 46 The Gallop, South Croydon, CR2 7LP
 Ward: Selsdon and Addington Village
 Description: Partial demolition and extension of existing bungalow, upwards and to the side and rear to create one 2 bedroom dwelling and one 3 bedroom dwelling, associated landscaping, car parking and refuse storage
 Drawing Nos: AP-03 Rev C (Proposed Elevations), AP-03 Rev E (Proposed Plans), AP-03 Rev E (Proposed Site Plan), EX-02 Rev C (Existing Site Plan), AP-03 Rev A (Existing and Proposed sections), EX-01
 Applicant: Mr Ronald Davies
 Agent: Mr Ronald Davies
 Case Officer: Victoria Bates

Housing Mix					
	1 bed (2 person)	2 bed (3 person)	2 bed (4 person)	3 bed (4 person)	TOTAL
Existing			1		1
Proposed (market housing)		1		1	2
TOTAL					2

Vehicle and Cycle Parking (London Plan Standards)	
PTAL: 0	
Car Parking maximum standard	Proposed
3	2
Long Stay Cycle Storage minimum	Proposed
4	4
Short Stay Cycle Storage minimum	Proposed
0	0

1.1 This application is being reported to committee because:

- The ward councillor (Councillor Ward) made representations in accordance with the Committee Consideration Criteria and requested committee consideration
- Objections above the threshold in the Committee Consideration Criteria have been received

2 RECOMMENDATION

2.1 That the Committee resolve to GRANT planning permission.

2.2 That the Director of Planning and Sustainable Regeneration is delegated authority to issue the planning permission and impose conditions and informatives to secure the following matters:

Conditions

- 1) Commencement time limit of 3 years
- 2) Carried out in accordance with the approved drawings

Pre-commencement

- 3) Construction Logistics Plan

Prior to above ground floor slab level

- 4) Submission and approval of materials
- 5) Submission and approval of cycle and refuse storage details
- 6) Submission and approval of landscaping (to incorporate replacement trees and biodiversity enhancements)
- 7) Details of SUDS strategy

Compliance

- 8) Obscure glazing to flank window serving bathroom (not to rooflights)
- 9) Visibility splays provided to new space proposed to 2 bedroom unit
- 10) Provision of electric vehicle charging points (EVCP)
- 11) Limit water usage to 110 litre per day
- 12) Compliance with fire strategy
- 13) Removal of permitted development rights to extend either house
- 14) Any other planning condition(s) considered necessary by the Director of Planning and Sustainable Regeneration

Informatives

- 1) CIL liable
- 2) Code of practice for Construction Sites
- 3) Compliance with Building/Fire Regulations
- 4) Construction Logistics Informative
- 5) Any other informative(s) considered necessary by the Director of Planning and Sustainable Regeneration

3 PROPOSAL AND LOCATION DETAILS

Proposal

- 3.1 Partial demolition and extension of existing bungalow, upwards and to the side and rear to create one 2 bedroom dwelling and one 3 bedroom dwelling, associated landscaping, car parking and refuse storage. The plans indicate that the retained elements would be the entire of the south-western flank elevation and the front elevation including the bay windows.



Figure 1: Proposed streetscene elevation

Amendments

- 3.2 The plans have been amended during the course of the application to correct inaccuracies, move the cycle parking for the 2 bedroom dwelling to the front of the site, retain the hedging/landscaping at the rear, provide two replacement trees and move one of the car parking spaces away from the boundary. These amendments are minor in their nature and did not require re-consultation.

Site and Surroundings

- 3.3 The application site consists of a single storey detached bungalow, on the southern side of The Gallop. The surrounding area is residential in character, consisting predominantly of single storey and two-storey, semi-detached and detached dwellings. There are no policy constraints affecting the application site, as identified by the Croydon Local Plan (2018).



Figure 2: Location Plan

Planning Designations and Constraints

- 3.4 The site is subject to the following formal planning constraints and designations:
- PTAL: 0
 - Flood Risk Zone: 1
 - Located 25 metres away from The Ruffet which is a Site of Nature Conservation Importance

Planning History

- 3.5 The following planning decisions are relevant to the application:

22/04256/FUL	Partial demolition and extension of existing bungalow, upwards and to the side and rear to create 1 x 3 bedroom dwelling and 1 x 5 bedroom dwelling, associated landscaping, car parking and refuse storage Pending consideration
22/04265/GPDO	Notification for prior approval under the GPDO 2015 under Class AA for an upwards extension of one storey to a dwellinghouse Approved (Prior approval)

22/04511/GPDO Erection of a single storey rear extension projecting out 6 metres from the rear wall of the original house with a height to the eaves of 3 metres and a maximum overall height of 3 metres
Approved (Prior approval)

4 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The principle of the residential development is acceptable given the residential character of the surrounding area and the need for housing.
- The proposed development would be acceptable in terms of its design, particularly when giving weight to the fallback position of the 22/04265/GPDO prior approval for an upwards extension and 22/04511/GPDO prior approval for a larger home extension.
- One family sized unit would be created, with good sized gardens and acceptable accommodation for future residents.
- Both properties would have an off-street parking space and would not impact upon highway safety and efficiency.
- The proposal would not result in significant harm to neighbouring amenity.
- The proposal’s impact on trees and biodiversity is acceptable subject to condition.
- All remaining sustainability aspects can be controlled by conditions.

4.1 The following sections of this report summarise the officer assessment and the reason for the recommendation.

5 CONSULTATION RESPONSE

5.1 The views of the Planning Service are expressed in the MATERIAL PLANNING CONSIDERATIONS section below.

6 LOCAL REPRESENTATION

6.1 A total of 5 neighbouring properties were notified about the application and invited to comment. The number of representations received from neighbours, local groups etc in response to notification and publicity of the application were as follows:

No of individual responses: 24 Objecting: 24 Supporting: 0

6.2 The following groups made representations:

- Croham Valley Residents’ Association

6.3 The following Councillor and MP made representations:

- Councillor Ward (Objecting)
- Chris Philp MP (Objecting)

6.4 The following issues were raised in representations that are material to the determination of the application, and they are addressed in substance in the next section of this report:

Objection	Officer comment
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Not in keeping with the area	This is addressed in paragraphs 8.7-8.15 of the report
Over development	
Obtrusive by design	
Cramped development	
Too tall next to 48 The Gallop	
Overbearing	This is addressed in paragraphs 8.20-8.27 of the report
Overlooking	
Loss of privacy	
Visual intrusion	
Loss of light	
Noise	There is no requirement in planning policy for heat pumps or solar panels; they are two energy options. EVCPs have been conditioned.
No heat pumps, solar panels or EVCPs	
Parking	This is addressed in paragraphs 8.31-34
Trees and hedging at rear should be retained	This is addressed in paragraphs 8.28-8.30
Loss of bungalow	This is addressed in 8.2-8.6
Infrastructure	This application is liable for CIL payments (Community Infrastructure Levy)
Harm to wildlife	This is addressed in paragraphs 8.28-8.30

7 RELEVANT PLANNING POLICIES AND GUIDANCE

Development Plan

7.1 The Council's adopted Development Plan consists of the London Plan (2021), the Croydon Local Plan (2018) and the South London Waste Plan (2022). Although not an exhaustive list, the policies which are most relevant to the application are:

London Plan (2021)

- D1 London's form, character and capacity growth
- D3 Optimising site capacity through the design led approach
- D4 Delivering Good Design
- D5 Inclusive Design
- H1 Increasing housing supply
- H2 Small sites
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- Delivering a Sufficient Supply of Homes
- Promoting Sustainable Transport
- Achieving Well Designed Places

SPDs and SPGs

7.4 There are also several Supplementary Planning Documents (SPD) and Supplementary Planning Guidance (SPG) documents which are material considerations. Although not an exhaustive list, the most relevant to the application are:

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- 8.4 London Plan policy H2 promotes incremental intensification with PTAL 3-6 or within 800m distance of a station or town centre boundary. This site has a PTAL 0 and lies over 800m from a station or town centre boundary, so the site is not appropriate for incremental densification as identified in H2. Notwithstanding, the site is a small site, with H2 requiring them to make a substantially greater contribution to supply of homes. Therefore, the principle of extensions and subdivision can be supported, subject to details covered below.
- 8.5 Policies SP2.7 and DM1.1 set a strategic target for 30% of all new homes over the plan period to have 3 or more bedrooms and DM1.2 seeks to avoid a net loss of 3-bed family-sized homes in order to ensure that the borough's need for family sized units is met and that a choice of homes is available in the borough. One unit would have 3 bedrooms which would comply with the strategic target, supporting the provision of family housing in the borough.
- 8.6 The existing dwelling is 71sqm, with two double bedrooms, so is less than 130sqm and DM1.2 of the Croydon Local Plan would apply. The proposal is for one 2 bedroom 3 person unit (across 3 storeys) measuring 110sqm and one 3 bedroom 4 person unit (across 3 storeys) measuring 123sqm. Policy DM1.2 states that the Council will permit the redevelopment of residential units where it does not result in the net loss of 3 bedroom homes (as originally built) or the loss of homes smaller than 130sqm. The proposal would re-provide a 2 bedroom and a 3 bedroom unit both either 130sqm or smaller, so would comply with this policy.

Design and impact on character of the area

- 8.7 Policy D3 of the London Plan state that development should make a positive contribution to the local character, public realm and streetscape. It should incorporate the highest quality materials and design appropriate to its context. Policy DM10 of the Croydon Local Plan requires the siting, layout and form of new development to respect the character and appearance of existing areas whilst seeking to achieve a minimum

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- 8.9 To the east, is 48 The Gallop which is a bungalow with rear extensions and set at a lower level than the application site. To the west is 44 The Gallop which is a two storey semi-detached property set at a higher level than the application site.



Figure 3: Street photo with 46 The Gallop located centrally

- 8.10 Although the height of the dwellings would be taller than the existing bungalow, it would not exceed the height of 44 The Gallop and would not disrupt the pattern of height increasing up the road westwards. In addition, the height to the ridgeline would match 44 The Gallop (but would be set below due to the land level change) and the pair of houses would be 1 metre less in width than 42 and 44 The Gallop. See Figure 1 above. This means that the dwellings would not appear overly dominant in the street scene or out of character with neighbouring properties with regards to height and massing.

- 8.11 There is also a fallback position in the form of the approved prior approval 22/04265/GPDO. This was for an upward extension to the existing property and the image to the right show what was consented and can be built out. This is a material consideration that further evidences the suitability of the increase in height to the bungalow as proposed in this application.



Figure 4: 22/04265/GPDO approval

- 8.12 The site layout would also appear similar to neighbouring properties. Both dwellings would have off street parking and soft landscaping to the front which is characteristic

of the properties on The Gallop. A single storey side element (appearing as an extension) is proposed to the side of the 3 bedroom property. Almost all of the properties on The Gallop have a single storey garage to the side. This element would be consistent with the local development pattern. To the rear, a 6 metre extension is proposed. The properties to the east of the site have similar extensions with a depth of 3-6 metres. Furthermore, the existing bungalow benefits from a prior approval for a larger home extension, in this case a 6m rear projection (22/04511/GPDO), which provides a fall-back position that is an important material consideration for this scheme.

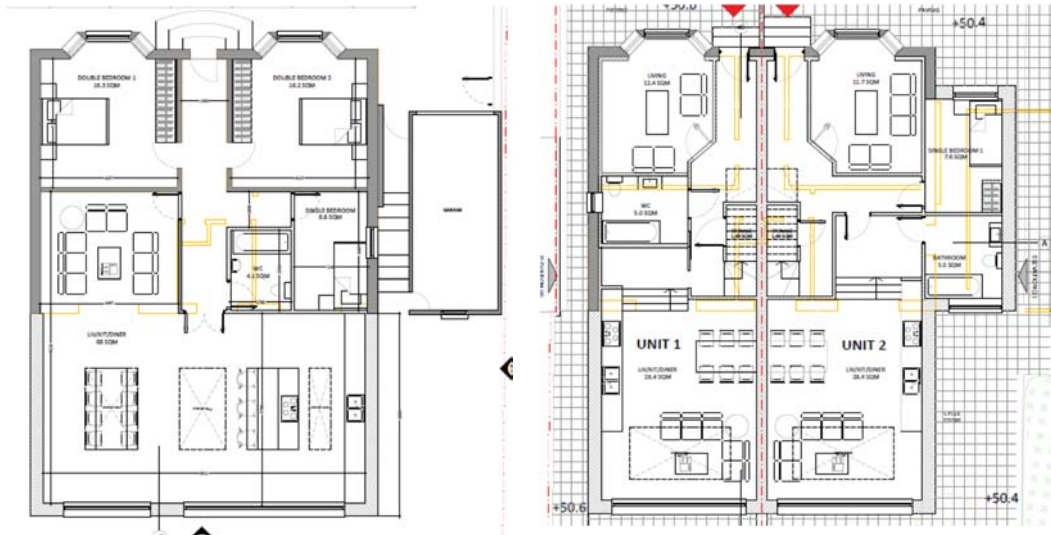


Figure 5 and 6: comparison of 22/04511/GPDO (left) approval and current scheme (right)

- 8.13 **Architectural Expression:** The design of the dwellings is based on the semi-detached properties to the west. The dwelling would be very similar in appearance, with differences in the location of the front doors and shape of the roof. The relocation of the front doors to the centre would not appear out of character with the other semi-detached properties and would work well with the design of the dwellings themselves. The proposed roof would have a shallower pitch than the other semi-detached properties in order to utilise the space in the roof for accommodation. It would still have hipped roof slopes and appear in character with the neighbouring roof forms.
- 8.14 The proposed materials would match the surrounding properties. Full details of the external materials and finishes would be secured via condition to ensure that they are of a suitable quality.
- 8.15 In summary, the design approach is considered to respect the character of The Gallop, in terms of design, height, scale, massing and layout.

Quality of residential accommodation

- 8.16 London Plan Policy D6 states that housing developments should be of a high quality and provide adequately sized rooms with comfortable and functional layouts. It sets out minimum Gross Internal Area (GIA) standards for new residential developments. Both units would exceed the minimum internal space standard by 31sqm, providing generous sized dwellings. Both units would have adequate layouts and be dual aspect. The minor transgression below the 2.5sqm storage space for unit 2 is noted, but given the unit is 33sqm over the minimum floorspace requirement, is sufficient.

Unit	Size (bedroom/person)	GIA (sqm) proposed	Min. GIA (sqm)	Amenity Space (sqm)	Min. Amenity Space (sqm)	Built in storage space (sqm)	Min. built in storage space (sqm)
1	2b/3p	110	79*	123	7	2.25	2
2	3b/4p	123	90	188	8	2.25	2.5

Table 1: scheme considered against London Plan Policy D6 and Table 3.1

**Based on the standard across 2 storeys +9sqm*

- 8.17 DM10.4 of the Croydon Local Plan requires all proposals to provide a minimum amount of private amenity space of 5m² per 1-2 person unit and an extra 1m² per extra occupant thereafter. Both units would have generous sized gardens, significantly exceeding the minimum standard.
- 8.18 London Plan policy D7 states that 10% of new build housing should meet Building Regulation requirement M4(3) 'Wheelchair User Dwellings'; and all other dwellings should meet the Building Regulation requirement M4(2) 'Accessible and Adaptable Dwellings' which requires step free access to all units and the facilities of the site. It is important to note that this application is for extensions and subsequent conversion to two units as opposed to a new build. There are currently steps up to the front door of the bungalow, as is the case for the majority of properties along this section of The Gallop. Given the floor level of the homes has been set by the existing bungalow, this arrangement is, on balance, accepted.
- 8.19 London Plan (2021) policy D12 Fire Safety requires all development proposal to achieve the highest standards of fire safety. Paragraph 3.12.1 states that fire safety of developments should be considered from the outset and D12 sets out six requirements that should be achieved on all developments. A Fire Statement has been submitted which addresses this policy.

Impact on neighbouring residential amenity

- 8.20 Policy D3 of the London Plan indicates that in their neighbourhoods, people should have a good quality environment. Policies SP4.1 and SP4.2 seek to respect and enhance character, to create sustainable communities and enhance social cohesion and well-being. Policy DM10.6 of the Local Plan states that the Council will ensure proposals protect the amenity of occupiers of adjoining buildings and will not result in direct overlooking into their habitable rooms or private outdoor space and not result in significant loss of existing sunlight or daylight levels.

48 The Gallop

- 8.21 48 The Gallop is a bungalow located to the east of the site, set at a lower level which has been extended by 5 metres to the rear (formed of a single storey rear extension with pitched roof and conservatory). The ground floor side extension would be separated by 2 metres from the side elevation of the bungalow. To the front, this would replace the existing garage that sits on the boundary which would be demolished. The massing would be further away from the boundary which would improve this relationship and create a gap between the properties. At the rear, the property would be extended by 6 metres, but set off the boundary with number 48 by 3.7 metres. Weight must be given to the 22/04511/GPDO prior approval (see figures 5 and 6) which is a fall-back position. In addition, 48 The Gallop has a 5 metre extension.

- 8.22 In relation to the upwards extension, the main body of the properties would not be visible from 48 The Gallop as there are no windows on the side elevation apart from the conservatory.
- 8.23 All proposed windows would face directly onto the garden of the application site and one window would be located at first floor on the side elevation, but this would serve a bathroom and would be conditioned as obscurely glazed. This would prevent overlooking or a loss of privacy.
- 8.24 Although 46 The Gallop is at a higher land level, as the extensions have been set in from the boundary, away from the neighbour and would only project by a maximum of a metre beyond the closest rear window of 48 The Gallop. There would be no significant harm to the amenities of this neighbour with regards to overlooking, privacy, outlook and light.

44 The Gallop

- 8.25 To the west is 44 The Gallop which is two storey in height and set approximately 90cm higher than the application site. On the side elevation, it has one obscurely glazed window serving a hallway at ground floor, one first floor window serving the staircase and one first floor window serving a toilet. As these windows do not serve habitable rooms, less weight is given to outlook or lighting. Nonetheless, the first floor extension would be located a metre off the boundary, 4.7 metres from the side elevation of number 44 and the height to the eaves would be lower. The 22/04265/GPDO upward extension prior approval provides a fall-back position. In relation to their ground floor rear windows, serving a kitchen and dining room, the 6 metre single storey rear extension would be at least 4.6 metres away and set at a lower level. Again, the 22/04511/GPDO rear extension prior approval is a fall-back position. On this basis, the proposal would not cause significant harm to the amenities of this neighbour with regards to overlooking, privacy, outlook and light.
- 8.26 The properties at the rear on Croham Valley Road are well separated from the new dwellings.
- 8.27 It is acknowledged that with any build, whilst there may be limited disturbances and inconveniences for neighbouring properties, there are no grounds to refuse planning permission based on construction impacts. A Construction Logistics Management Plan can be secured through condition which would seek to protect neighbouring amenities as far as possible during this time.

Trees, landscaping and biodiversity

- 8.28 London Plan Policy G7 and Croydon Local Plan policy DM10.8 and DM28 seek to retain existing trees and vegetation and seek biodiversity net gain. The site is in relatively close proximity of The Ruffets which is a Site of Nature Conservation Importance.
- 8.29 The existing hedging and the mature tree at the rear of the garden are to be retained. Two small trees would be removed, and two semi mature replacements would be planted, with full details conditioned.
- 8.30 The existing property sits within a largely grassed, manicured garden which has limited ecological value. The hedge and mature tree to the rear would be retained. Two new

semi-mature tree specimens are proposed with two bird boxes to encourage biodiversity.

Access, parking and highway impacts

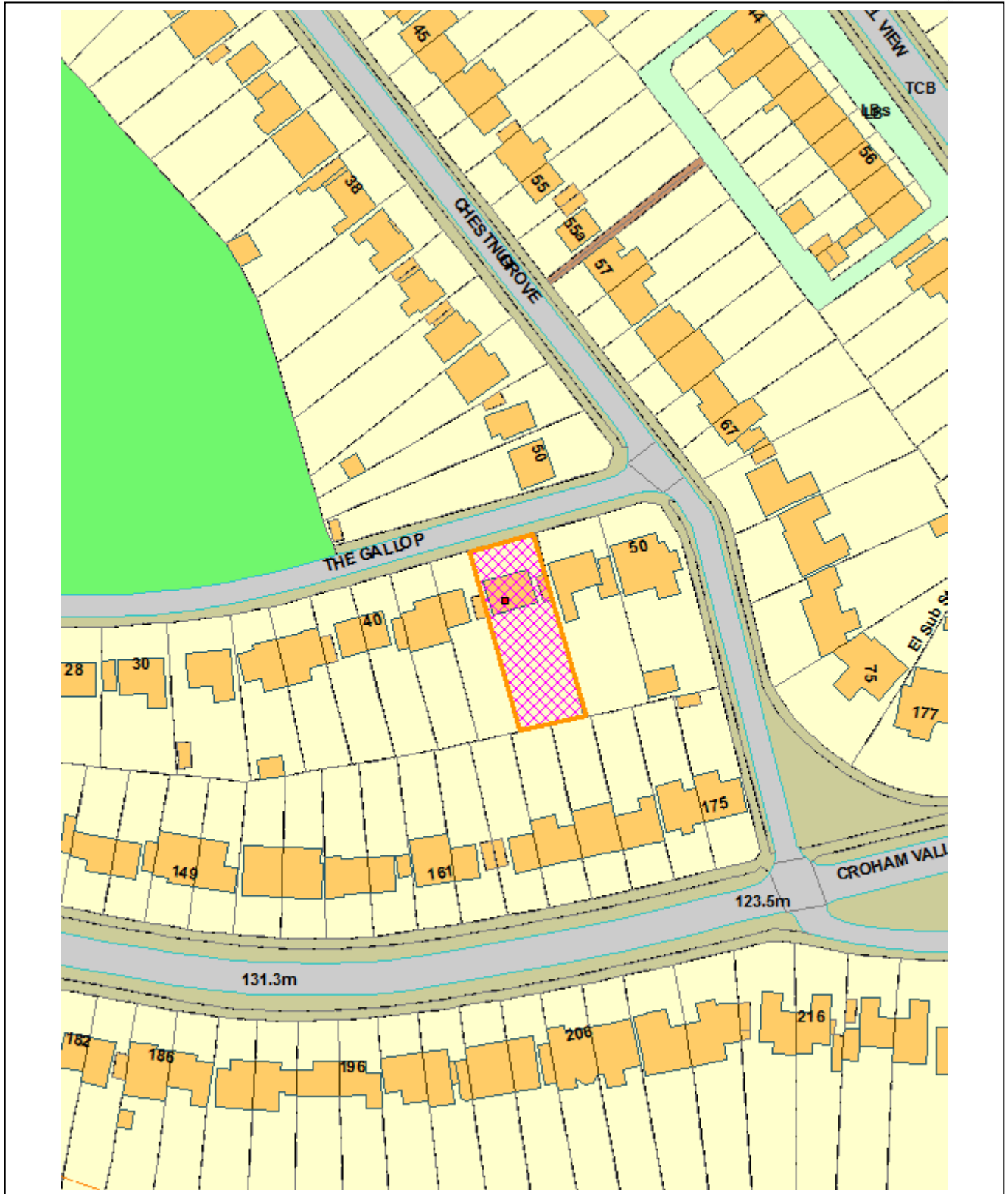
- 8.31 The site has a PTAL (Public Transport Accessibility Level) of 0 (the worst) on a scale of 0-6b. The site is not in a Controlled Parking Zone.
- 8.32 As existing there is a crossover serving the property which would be utilised by the 3 bedroom property for 1 car parking space. Sightlines are not within the application site, but as it is an existing arrangement this is considered acceptable and not grounds for refusal. A new crossover is proposed for the 2 bedroom property with sightlines completely within the site. A condition will ensure the sightlines are controlled with no elements above 0.6m to safeguard visibility.
- 8.33 London Plan Policy T6.1 sets the maximum provision of car parking of 3 spaces for this PTAL. The proposed 1:1 car parking complies with this policy. In addition to this, a parking stress survey has also been undertaken which shows low parking stress in the area. On this basis, the parking provision is acceptable.
- 8.34 A cycle store would be provided for each unit showing two spaces. This is in compliance with London Plan policy T5. Details will be conditioned.
- 8.35 Refuse stores are located in the front garden area of an adequate size. Details would be conditioned.

Flood risk

- 8.36 The site is within flood zone 1 and not at risk of surface water flooding. Local Plan Policy DM25 and SI13 of the London Plan requires all development to incorporate sustainable drainage measures (SuDS). The SuDS strategy will be secured by condition.

Conclusions

- 8.37 In conclusion, the proposal would retain a two bedroom dwelling and create a new family sized unit without causing harm to neighbouring amenity or the streetscene. Both units would be generously sized with off street parking and large gardens which is characteristic of the area.
- 8.38 All other relevant policies and considerations, including the statutory duties set out in the Equalities Act 2010, the Human Rights Act, the Planning and Compulsory Purchase Act, and the Town and Country Planning Act, have been taken into account. Given the consistency of the scheme with the Development Plan and weighing this against all other material planning considerations, the proposal is considered to be acceptable in planning terms subject to the detailed recommendation set out in section 2 (Approval).



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